

Building Defect Inspection

Provided By



Inspect365

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Inspection Address

Sample , Epping, VIC



Report Information

Client Information

Client Name Sample
 Email info@inspect365.com.au

Inspection Information

Report/Agreement # 100124023859311
 Inspection Date: 10 Jan 2024
 Inspection Time: 02:38 pm

Pest And Building Inspection

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C" and with AS 4349.3-2010 (Visual Timber Pest Inspection Report)

Only the purchaser name at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Changes to the Inspection Agreement: Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Please read the entire report. Refer to the terms & conditions as they form part of the report

Areas to be Inspected and Restrictions

The Building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.

- (a) The interior of the building.
- (b) The roof space.

- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection.

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

Paint Defects:

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

Paintwork is defective if the application has blemishes such as

- paint runs,
- paint sags,
- wrinkling,
- dust,
- bare or starved painted areas,
- colour variations,
- surface cracks,
- irregular and coarse brush marks,
- sanding marks,
- blistering,
- non-uniformity of gloss level
- other irregularities in the surface

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Any roof which cannot be accessed externally will be thoroughly checked from the inside for moisture ingress using our thermal imaging and moisture meter equipment.

Roof Void & Subfloor

Whilst we will endeavour to do our best to enter the roof void & subfloor. The minimum requirement under legislation is the roof void must have a manhole size 350x450mm (minimum) and the sub floor height is 400mm (minimum) to safely enter. The areas which cannot be accessed will be checked as thoroughly as possible using our thermal imaging equipment and moisture meters.

Very Important note to the purchaser.

In the event that areas where access is restricted or not accessed structural defects, termite damage or activity may be present but not seen. Access should be provided and a follow up or re-inspection should take place. This inspection will be charged as a new cost. Please consult with the vendor and request full access to restricted areas. This should be done prior to a decision to purchase.

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
GARAGE - CARPORT	Garaging	Roof And Gutter	Evidence of leakage observed. This confirmed with thermal readings. Contact a licensed roofer for repairs.
GARAGE - CARPORT	Garaging	Ceiling Findings	Ceiling sagging - Requires repair from a safety perspective - Recommendations: I recommend you contact a licensed plasterer for further advice and recommendations. Considered a Safety Hazard.
GARAGE - CARPORT	Garaging	Ceiling Findings	Ceiling stains - Moisture readings obtained - Possibly still active leaking. Recommendations: A qualified plumber should be engaged for advice and recommendations. We strongly recommend that all water damaged plaster replaced by a qualified plasterer due to potential detachment or collapse. Considered a Major Defect and a Safety Hazard
INTERIORS	Hallway/ passage	Walls	Skirting board damage. Possibly bath/shower recess leak related. Recommendations: Have bathroom/shower assessed by a leak detection plumber for leaks and maintenance. Replace skirting boards as required by qualified trades
INTERIORS	Hallway/ passage	Flooring	Elevated moisture was detected to the carpet adjoining the shower wall. Suspected shower leak. Recommend leak detection to confirm cause of leak.
INTERIORS	Bedroom 3	Door	The door frame was water damaged. Suspected leak from shower due to the close proximity. Recommend leak detection to confirm cause of leak. Carpenter/painter required for repairs.
BATHROOM(S)	Bathroom 1	Ceiling	Mould spores noted to ceiling. This is a health hazard. See ventilation section
BATHROOM(S)	Bathroom 1	Shower And Bath	Tile grout deterioration. Re-grout / seal the shower tiles and screen junctions. A qualified tiler or leak seal specialist should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 2	Door	The door frame was water damaged. Suspected leak from shower due to the proximity. Recommend leak detection to confirm cause of leak. Carpenter/painter required for repairs upon rectification of the leak.
BATHROOM(S)	Bathroom 2	Shower And Bath	Tile grout deterioration. Re-grout / seal the shower tiles and screen junctions. A qualified plumber should be engaged for advice and recommendations.
CONCLUSION	Condition Of Inspected Structure	The incidence of Major Defects	The incidence of major defects in this residential building as compared with similar buildings is considered TYPICAL

Summary Of Minor Defects

Below Is A Summary Of Defects Other Than Major Defects.

Section	Location	Name	Comment
ROOF AND GUTTER	Roof Covering	Flashing Conditions	Debris was noted in the valley flashing. This accumulated matter can cause water to overflow the flashing during heavy rain periods. Recommend licensed roof plumber to clean and assess flashing above garage leak to confirm the cause of water ingress
ROOF AND GUTTER	Guttering	Gutter Findings	Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.
INTERIORS	Entry And Hallways	Flooring	Cracked floor tiles noted - The cracking is typical of movement cracking. Recommendations: A qualified tiler should be engaged for repairs and the installation of control joint / expansion measures - in accordance with the relevant Australian standards. We recommend a structural engineering investigation and assess should the cause of cracking be required or the cracking continues.
INTERIORS	Lounge Room	Ceiling	Cornice separation - I recommend you contact a licensed plasterer for repairs.
INTERIORS	Family Room	Ceiling	Damage was observed to the cove cornice. This damage is consistent with compression from the deflection of the girder truss directly above. Although trusses are designed to deflect under load, we recommend a structural engineering investigation and assess should the damage worsen.
INTERIORS	Bedroom 1	Ceiling	Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.
INTERIORS	Bedroom 1	Walls	Settlement Cracks Noted. These are typical and generally patch and paint will suffice, however we recommend monitor these cracks and if become wider or longer, we recommend a structural engineering investigation and assessment.
INTERIORS	Bedroom 2	Ceiling	Damage was observed to the cove cornice. This damage is consistent with compression from the deflection of the girder truss directly above. Although trusses are designed to deflect under load, we recommend a structural engineering investigation and assess should the damage worsen.
BATHROOM(S)	Bathroom 1	Door	Uneven / out of square door frame - This can relate to some differential settlement in the footings, frame movement, age, expansion, shrinkage and the like. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

BATHROOM(S)	Bathroom 2	Door	Binding entry door - Doors that bind on the frame can relate to some differential settlement, frame movement, age, expansion, shrinkage or poor hanging. A qualified carpenter should be engaged for repairs.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Ceiling	Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Walls	Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	The incidence of minor defects in this residential building as compared with similar buildings is considered TYPICAL

ROOF AND GUTTER

Roof Covering

General Disclaimer

Refer to Section 2C of the Terms And Conditions section of this report

Roof Covering Type

Terracotta tiles

Overall Condition

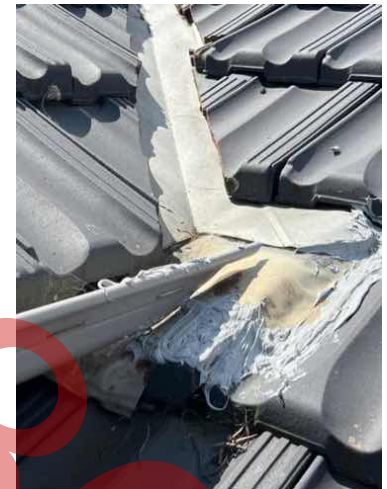
Not inspected as too high to reach by ladder. Viewed from a distance.

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.



Flashing Conditions

Debris was noted in the valley flashing. This accumulated matter can cause water to overflow the flashing during heavy rain periods. Recommend licensed roof plumber to clean and assess flashing above garage leak to confirm the cause of water ingress



Guttering

Gutter Findings

Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.



GARAGE - CARPORT

Garaging

Type

Attached garage

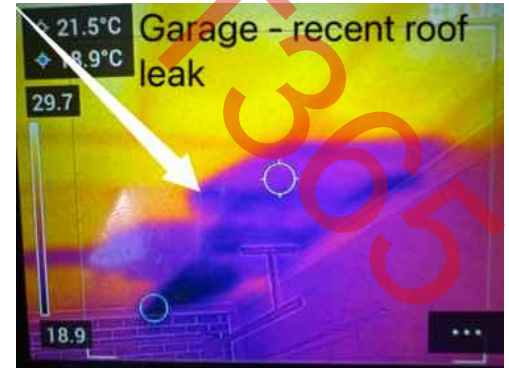
Areas Restricted

Storage items restricted a full and thorough inspection of this area. Defects may exist in the inaccessible areas. It is strongly recommended that full access be granted to enable a thorough inspection as there may be timber pest activity, damage or defects. Note: Where vehicles and storage has restricted a full inspection it is advised that this area be cleared so a full and unobstructed inspection can be carried out.

Roof And Gutter

Same as house. See house roof report.

Evidence of leakage observed. This confirmed with thermal readings. Contact a licensed roofer for repairs.



Ceiling Findings

Ceiling sagging - Requires repair from a safety perspective -
 Recommendations: I recommend you contact a licensed plasterer for further advice and recommendations. Considered a Safety Hazard.

Ceiling stains - Moisture readings obtained - Possibly still active leaking. Recommendations: A qualified plumber should be engaged for advice and recommendations. We strongly recommend that all water damaged plaster replaced by a qualified plasterer due to potential detachment or collapse. Considered a Major Defect and a Safety Hazard





Water damage to ceiling plaster

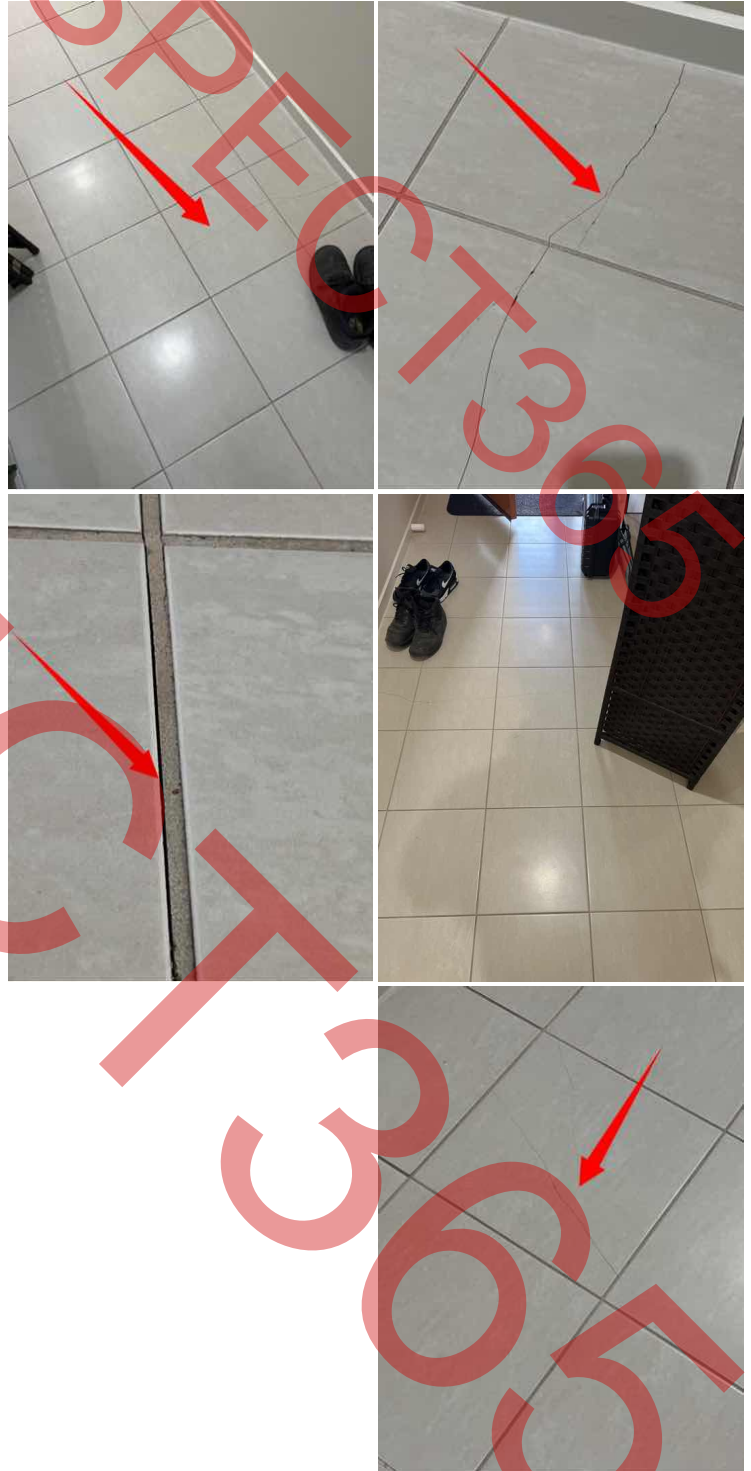
INTERIORS

Entry And Hallways

Flooring

Cracked floor tiles noted - The cracking is typical of movement cracking. Recommendations: A qualified tiler should be engaged for repairs and the installation of control joint /expansion measures - in accordance with the relevant Australian standards.

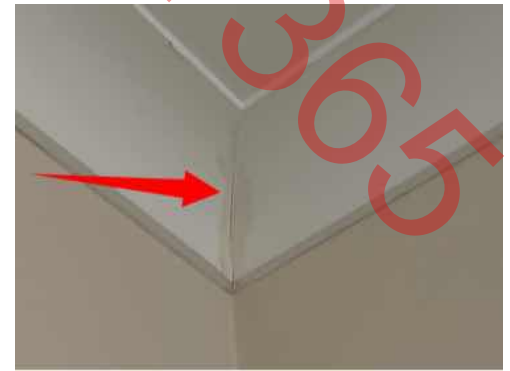
We recommend a structural engineering investigation and assess should the cause of cracking be required or the cracking continues.



Lounge Room

Ceiling

Cornice separation - I recommend you contact a licensed plasterer for repairs.



Family Room

Ceiling

Damage was observed to the cove cornice. This damage is consistent with compression from the deflection of the girder truss directly above. Although trusses are designed to deflect under load, we recommend a structural engineering investigation and assess should the damage worsen.





Cracking along sheet joint



Hallway/passage

Walls

Skirting board damage. Possibly bath/shower recess leak related.
 Recommendations: Have bathroom/shower assessed by a leak detection plumber for leaks and maintenance. Replace skirting boards as required by qualified trades



Flooring

Elevated moisture was detected to the carpet adjoining the shower wall. Suspected shower leak. Recommend leak detection to confirm cause of leak.



Bedroom 1

Ceiling

Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.



Walls

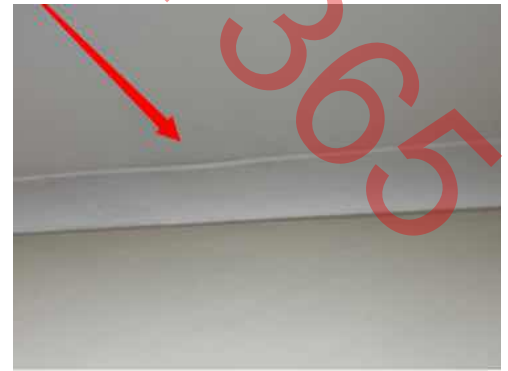
Settlement Cracks Noted. These are typical and generally patch and paint will suffice, however we recommend monitor these cracks and if become wider or longer, we recommend a structural engineering investigation and assessment.



Bedroom 2

Ceiling

Damage was observed to the cove cornice. This damage is consistent with compression from the deflection of the girder truss directly above. Although trusses are designed to deflect under load, we recommend a structural engineering investigation and assess should the damage worsen.



Bedroom 3

Door

The door frame was water damaged. Suspected leak from shower due to the close proximity. Recommend leak detection to confirm cause of leak. Carpenter/ painter required for repairs.



BATHROOM(S)

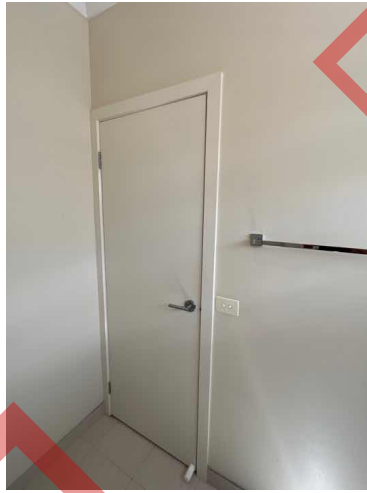
Bathroom 1

Location

This bathroom is located in the bedroom

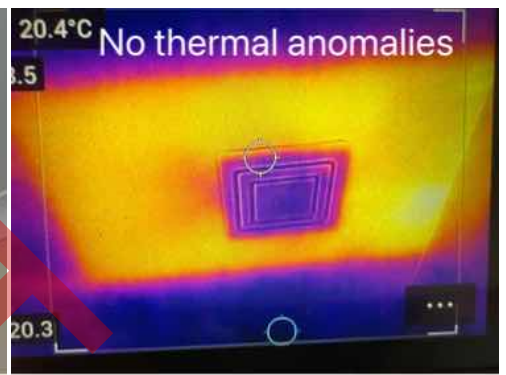
Door

Uneven / out of square door frame - This can relate to some differential settlement in the footings, frame movement, age, expansion, shrinkage and the like. Recommendations: A qualified carpenter should be engaged for advice and recommendations.



Ceiling

Mould spores noted to ceiling. This is a health hazard. See ventilation section



Shower And Bath

Tile grout deterioration. Re-grout / seal the shower tiles and screen junctions. A qualified tiler or leak seal specialist should be engaged for advice and recommendations.



Ventilation

An exhaust fan is present and operable in the bathroom - Regular cleaning advised.

Important Disclaimer

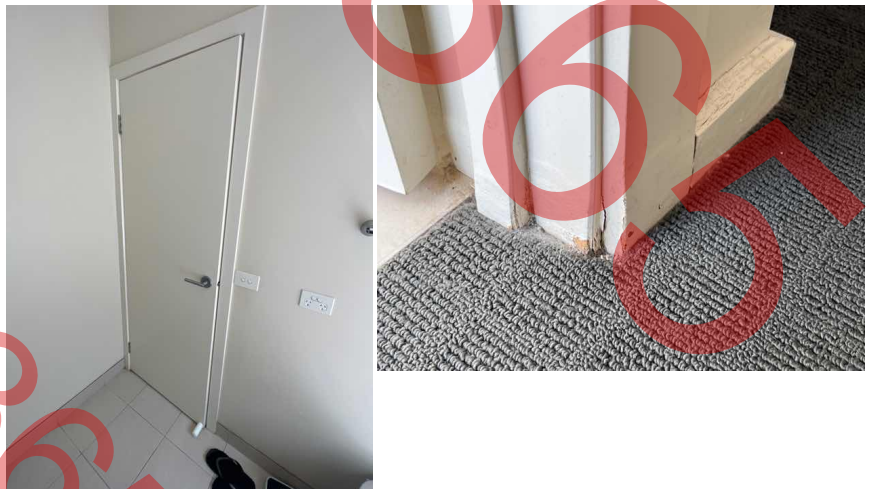
Refer to Section 7 of the Terms And conditions section of this report

Bathroom 2

Door

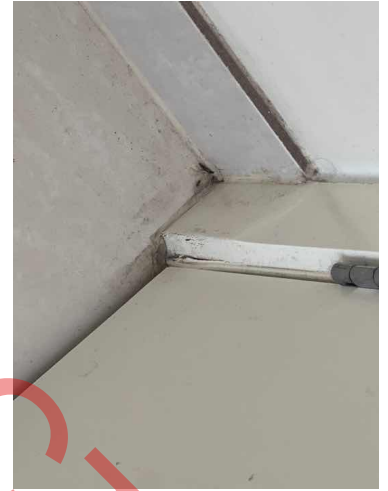
Binding entry door - Doors that bind on the frame can relate to some differential settlement, frame movement, age, expansion, shrinkage or poor hanging. A qualified carpenter should be engaged for repairs.

The door frame was water damaged. Suspected leak from shower due to the proximity. Recommend leak detection to confirm cause of leak. Carpenter/painter required for repairs upon rectification of the leak.



Shower And Bath

Tile grout deterioration. Re-grout / seal the shower tiles and screen junctions. A qualified plumber should be engaged for advice and recommendations.

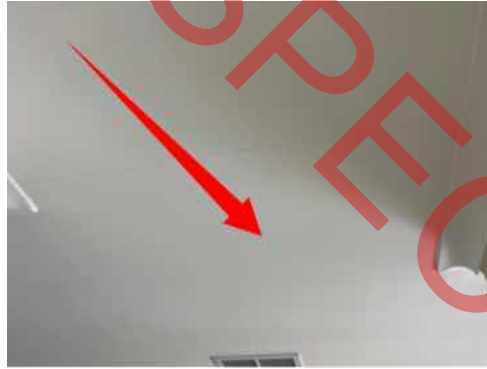


KITCHEN & LAUNDRY

Kitchen and Meals Area

Ceiling

Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.



Walls

Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.





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ROOF VOID

Roof Void Findings

General Disclaimer

Please refer to section 2B of the Terms And Conditions section of this report.

Restricted Areas

There is heating and/or cooling ducting present in the roof space/void. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, damage or defects.

There is insulation present in the roof space/void. This is preventing a full inspection of ceiling joists from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, damage or defects.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harbouring timber pest activity, damage or defects.

Roof Frame Type

The roof frame is a truss timber frame.



CONCLUSION

Condition Of Inspected Structure

Overall Condition

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The summary lists of Major and Minor defects included this report are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect

The incidence of major and minor defects and overall condition in this residential building as compared with similar buildings is listed below.

Please refer to the **TERMS AND CONDITIONS** section of this report for definition

The incidence of Major Defects

The incidence of major defects in this residential building as compared with similar buildings is considered **TYPICAL**

The Incidence of Minor Defects

The incidence of minor defects in this residential building as compared with similar buildings is considered **TYPICAL**

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is **AVERAGE TO ABOVE AVERAGE**

PROPERTY AND INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Direction House Faces

The dwelling faces South for the purposes of this inspection report.

Building Type

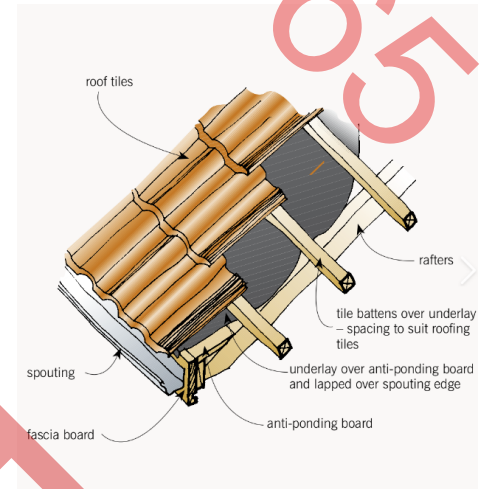
The dwelling is a Residential House.

Construction Type

The wall cladding is Brick. With Gypsum internal wall lining. (Brick Veneer)

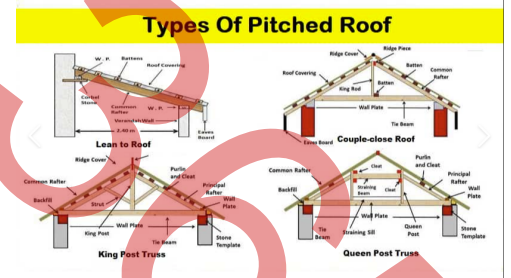
Roof Cladding

Tile roofing



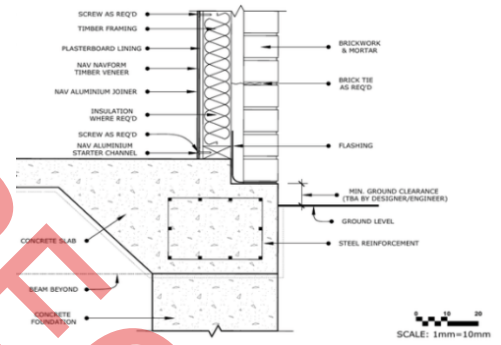
Roof Design

The roof is a Pitched roof design.



Footings Type

Slab On Ground Footing Construction.



Storeys

Single level dwelling

Property Occupied

The property was occupied.

Property Furnished

The home was Fully Furnished

People Present

The Client was present.

Areas Where Full Inspection Restricted

Areas Inspected

- Building Interior
- Garage
- Lower level roof exterior
- Roof Void

Area Where Inspection Was Restricted

- Building Interior
- Garage
- Roof Void
- Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Areas Not Inspected

Roof Exterior

Site

Inaccessible roof void sections due to access limitations and or insulation and ducting.

Utility Status

Water

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.

Gas

The Gas was on at the time of Inspection

Apparent Concealment of possible defects

Were apparent Concealments seen

No apparent concealing of defects visible.

inspection Agreement

Were there any specific requirements to The Pre Inspection Agreement

Yes specific requirements were;

Inspect nominated area of damage as directed by client.

Including: cracking damage, garage ceiling water damage, bathroom leak.

TERMS AND CONDITIONS

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of structure in accord with AS 4349.1 appendix "C" or if not a pre-purchase report then the report complies with AS4349.0. This is a general appraisal only and cannot be relied on its own, a further inspection by specialist and qualified trades is strongly recommended.

THIS SECTION IS NOT THE PEST REPORT: This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. Please keep reading further down to see timber pest findings.

DEFINITIONS AND TERMINOLOGY

SERVICEABLE: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

TRADESMAN: A defect or a number of defects were visible that will require assessment by a qualified trades person.

AGE: The component has deterioration due to ageing or lack of upkeep and or maintenance.

MONITOR: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

STRATA: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

HIGH: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

ABOVE AVERAGE: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

AVERAGE: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE: The building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

SIGNIFICANT ITEMS: An item that must be reported in accordance with the scope of the inspection.

MAJOR DEFECT: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

MINOR DEFECT: Any defect other than what is described as a Significant Item or major defect.

SAFETY HAZARD: A defect that presents unsafe conditions and must be reported as a Major defect.

ACCESSIBLE AREA: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

LIMITATION: A factor that prevents full or proper inspection of the building.

IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report. The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of Australian Standard AS 4349 and does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of that particular residential dwelling. The inspection does not cover common property. This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential. Further, this report is not intended to be used as a marketing tool by and real-estate agents and only the person named in the CLIENT INFORMATION section of the report shall this report apply to as it is assumed and agreed that the person who orders the report is indeed the person purchasing the property inspected. Where a report is ordered on behalf of a CLIENT it is assumed that the terms and condition and Pre Inspection Agreement have been fully explained to the CLIENT by the person or company ordering the report.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice. Please refer to Cracking Of Building Elements in section 2G of these Terms And Condition

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Limitations: This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access: Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.1 or AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

1) NOT A CERTIFICATE OF COMPLIANCE: This report is not an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) VISUAL INSPECTION: This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2A) Please refer to each individual area regarding sections that were incapable or being inspected. Please acknowledge the following. Where a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, the 2nd storey roofing, gutters, fascia, flashings and the like, low clearance in sub floor or roof void areas, ducts and deep insulation restricting access in roof voids, sub floor restrictions including plumbing, ducts, low clearance, no access doors or access doors too small and the like) then it follows that defects, timber pest activity and/or damage may exist in these areas. To adequately inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. This will obviously be difficult to carry out due to time restrictions and permission would need to be obtained from the property owner.

This Firm DOES NOT GUARANTEE IN ANY WAY that there ARE OR ARE NOT any defects, termite damage or live termites in any areas not inspected. To obtain a full understanding of the report findings, it is essential you read the entire inspection report, including the information sections at the end of this report and I encourage you to call me if you have any queries at all before purchasing the inspected dwelling.

2B) Entering attics or roof voids that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2C) The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so. Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection, which can result in hidden defects going undetected. The overall condition of the roofing and its components is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We offer no guarantee that the roof cladding or roof components such as flashing will not leak in the future.

2D) Limitations to the exterior inspection this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. Please note. If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. We strongly recommend you contact a practicing structural engineer for further advice.

2E) Timber framed windows can bind or stick. This can be seasonal due to the fluctuation in moisture content in timber. If binding or sticking continues a carpenter may require adjustments. Binding windows is not normally a major defect, however in some circumstances binding windows and doors can be directly related to some differential footings settlement. If any timber fungal decay on frames or deteriorated putty seals is noted, the consultant will not attempt to operate windows due to potential damage. Windows that are sticking, binding or paint stuck will also not be forced open. Water leaks to windows and surrounds cannot be determined in the absence of rain.

2F) Internal Inspections. Carpets and or other floor coverings, cupboards/cabinets, joinery, finishes and fittings, normally obstruct inspection to the upper-side of flooring. Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained. The condition of walls behind wall coverings, panelling and furnishings cannot be inspected or reported on. Only the general condition of visible areas is included in this inspection. Where fitted. Wood burning and other forms of fireboxes are outside the scope of this inspection. We recommend you have these tested prior to purchase for peace of mind.

2G) Cracking of Building Elements: Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

Information required to determine the consequences of a crack:

Nature of the foundation material on which the building is resting

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories:

Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired, 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

IMPORTANT: Regardless of location or size If cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2H) Important Note: Where any elevated structure (deck, balcony, veranda etc.) is present, and this elevated structure is designed to accommodate people, you must have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. A qualified engineer can only do this. For the purpose of this report, the structure includes elevated decks; verandas, pergolas, balconies, handrails, stairs and children's play areas. Where any structural component is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

3) CONCEALED DEFECTS: This report does not and cannot make comment upon: Defects that may have been concealed the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects e.g. In the case of shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

4) NO GUARANTEE: Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) SWIMMING POOLS: Compliance of Swimming pools/spas are not part of the standard building report under as4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

6) SURFACE WATER AND DRAINAGE: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection. It is recommended that a smoke test be obtained to determine any illegal connections, blocked or broken drains.

7) SHOWER RECESSES: All Shower areas are visually checked for leakage, but leaks often do not show except when the shower is in actual long-term use. Determining whether shower areas, bath/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future. Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks as showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

8) GLASS CAUTION: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) STAIRS AND BALUSTRADES: Specifications have been laid down by the National Construction Code Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) RETAINING WALLS: Where retaining walls are more than 700mm high these wall/s should have been installed with engineering design and supervision. Walls found on the site were not assessed and the performance of these walls is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) ROOMS BELOW GROUND LEVEL: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make his or her own enquiries with the Council to ascertain if approval was given.

12) ASBESTOS DISCLAIMER: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) MOULD (mildew and non-wood decay fungi) disclaimer: Mildew and non-wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) MAGNESITE DISCLAIMER: No inspection for Magnesite flooring was carried out at the property and no report on the presence or absence of Magnesite flooring is provided. You should ask the owner whether Magnesite flooring is present and/or seek advice from a structural engineer.

15) ESTIMATING DISCLAIMER: No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

16) DISCLAIMER OF LIABILITY: No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

17) DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

18) COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

OTHER RECOMMENDED INSPECTIONS

Electrical installation: All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report.

Plumbing: All plumbing including septic tanks need to be inspected and reported on by a plumber.

Hot water service: Hot water services need to be checked by a plumber and/or electrician.

Gas: All gas services need to be inspected and reported on by a gas plumber.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician.

Smoke Alarm: Australian standard AS3786 advises that smoke alarms are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or to install smoke alarms.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

TIMBER PEST INSPECTION

Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report.

Please ensure that you read all sections of the report as well as the additional information at the rear of Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report. As this is a visual inspection only there may be damage to structural timbers within the building from termite infestation which is concealed by wall/s and or ceiling linings, and that such damage has neither been inspected for nor reported herein. Please ensure that you read all sections of the report as well as the additional information at the rear of the report and understand the limitations and the special recommendations for this construction style. If there is something you do not understand or require further clarification. Please contact the Inspector. **IMPORTANT: The Client acknowledges that, unless stated otherwise, the Client, as a matter of urgency should implement any recommendation or advice given in this report. Please contact the inspector If there is something you do not understand or require further clarification on.**

ACCESS AND RESTRICTIONS

Note

Inspection Information

For the purpose of visual timber pest inspection this timber pest inspection report which form part of a combined timber pest and building inspection. The inspection information listed at the beginning of the building inspection report namely report information shall apply. Including the date and time of inspection, agreement number, who the report is prepared for and the description of the property inspected. **THIS IS A VISUAL INSPECTION ONLY** in accord with the requirements of AS4349.3-2010 - Inspection of buildings Part 3: Timber Pest Inspections.

Summary Only

Important Disclaimer

Important disclaimer

This summary and the opinion is supplied to allow a quick and superficial overview of the inspection results. This summary is not the report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the report and anything in this summary, the information in the report shall override that in this summary. The report is subject to terms and limitations.

Note: It is essential that you read the entire report; other inspectors may have and are entitled to different opinions in relation to this dwelling.

Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential

1.1 Access to Areas

Areas where Access Should be Gained

No. Please read the report in its entirety.

1.2 Timber Pest Activity

NOTE

Note: Any evidence of termite activity or workings in the grounds or building structure assumes that risk to buildings is very high. We strongly recommend a treatment to eradicate the termites and to protect the building

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with as 4349.3

Are further inspections recommended

Yes: Please read this report in its entirety.

Where any major safety hazards identified

No: Please read this report in its entirety.

1.3 Brief Description of the Structure Inspected

Building Type

Please refer to the description of the property outlined in the Building Inspection section of this report.

Terms and Limitations

Important Information

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report.

1. This is a visual inspection only in accord with the requirements of as 4349.3 Inspection of buildings part 3: Timber pest inspections. This visual inspection was limited to those areas and sections of the property to which reasonable access (see definition) was both available and permitted on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, in other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. An invasive inspection will not be performed unless a separate contract is entered into. In an occupied property it must be understood that furnishings or household items may be concealing evidence of timber pests, which may only be revealed when the items are moved or removed. In the case of strata type properties only the interior of the unit is inspected.

2. Scope of report: This report is confined to reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of seasoned timber and wood decay fungi (hereinafter referred to as 'timber pests'), present on the date of the inspection. The inspection did not cover any other pests and this report does not comment on them. Dry wood termites (family: Kalotermitidae) and European house borer (*hylotrupes bujulus* Linnaeus) were excluded from the inspection, but have been reported on if, in the course of the inspection, any visual evidence of infestation happened to be found. If *cryptotermes brevis* (West Indian dry wood termite) or *hylotrupes bujulus* Linnaeus are discovered we are required by law to notify government authorities. If reported a special purpose report may be necessary.

3. Hidden damage: If timber pest activity and/or damage is found, within the structures or the grounds of the property, then damage may exist in concealed areas, eg framing timbers. An invasive inspection is strongly recommended in this case. Damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers.

4. Accesibility: A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. At the request of the named client on this report and with the written consent of the vendor, we will revisit the site and re-Inspect the obstructed Areas at no cost to you.

5. Limitations: Nothing contained in the report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by the inspector on the date of the inspection were not, or have not been, infested by timber pests. Accordingly this report is not a guarantee that an infestation and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. Nor is it a guarantee that a future infestation of timber pests will not occur or be found.

6. Determining extent of damage: The report is not a structural damage report. Any observations or recommendations about timber damage should not be taken as expert opinion and cannot be relied upon. The report will not state the full extent of any timber pest damage. The report will state timber damage found as slight, moderate, moderate to extensive or extensive. This information is not the opinion of an expert. If any evidence of timber pest activity and/or damage resulting from timber pest activity is reported either in the structure(s) or the grounds of the property, then you must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation is removed to reveal previously concealed timbers. An invasive timber pest inspection (for which a separate contract is required) is strongly recommended and you should arrange for a separate inspection by a qualified builder, engineer, or architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that either we or the individual conducting the inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

7. Mould: Mildew and non-wood decay fungi is commonly known as mould and is not considered a timber pest. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided. Should any evidence of mould happen to be noticed during the inspection, it will be noted in the other information (5.11) Section of this report. If mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local council, state or commonwealth government health department or a qualified expert such as an industry hygienist.

8. Disclaimer of liability: No liability shall be accepted on account of failure of the report to notify any termite activity and/or damage present at or prior to the date of the report in any areas(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the licensed inspector (including but not limited to any area(s) or section(s) so specified by the report).

9. Disclaimer of liability to third parties: Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Any third party acting or relying on this report, in whole or in part, does so entirely at his or her own risk.

10. Complaints procedure: In the event of any dispute or claim arising out of, or relating to the inspection or the report, you must notify us as soon as possible of the dispute or claim by email, fax or mail. You must allow us (which includes persons nominated by us) to visit the property (which visit must occur within twenty eight (28) days of your notification to us) and give us full access in order that we may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If you are not satisfied with our response you must within twenty one (21) days of your receipt of our written response refer the matter to a mediator nominated by us from the institute of arbitrators and mediators of Australia. The cost of the mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The institute of arbitrators and mediators of Australia will appoint an arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of the arbitrator, will proceed in the following manner:

A) the parties must submit all written submissions and evidence to the arbitrator within twenty one (21) days of the appointment of the arbitrator; and

B) the arbitration will be held within twenty one (21) days of the arbitrator receiving the written submissions.

The arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the arbitrator is final and binding on both parties. Should the arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event you do not comply with the above complaints procedure and commence litigation against us then you agree to fully indemnify us against any awards, costs, legal fees and expenses incurred by us in having your litigation set aside or adjourned to permit the foregoing complaints procedure to complete.

11. Complaint investigation: In the event any litigation is started as a result of the inspection and/or report, you indemnify us against any legal fees and expenses incurred where you have not first allowed us the opportunity to visit the property to investigate the complaint and provide you with a written response within 28 days.

2. Visual Timber Pest Inspection Report

Important Information

For complete and accurate information please refer to the attached complete visual timber pest report, provided in accord with AS 4349.3

2.1 Brief Description of Areas Inspected

NOTE

Only structures, fences & or trees within 30m of the building but within the property boundaries were inspected.

The areas inspected were

Please refer to the Inspected and restricted areas in the Building Inspection section of this report.

2.2 Areas Not Inspected

Please Note

No inspection was made, and no report is submitted, of inaccessible areas. These include, but may not be limited to, cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios sub-floors, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow blocks/posts, etc.

The inspection did not include obstructed areas, not readily accessible and inaccessible areas at the time in inspection which were inaccessible, not readily accessible or obstructed areas at the time of inspection. Locked and restricted areas were not inspected. Removing furnishings and obstructions which may be concealing evidence of defects is outside the scope of this inspection. It is strongly recommended that all obstructions be removed and full access be provided as defects may exist in these areas.

Unable to Inspect

Roof void sections were not visible.

Sections in the interior could not be inspected to excessive personal belongings and items obstructing access and view.

2.3 Reasonable Access Areas Not Available and Why

Roof Void Because

Heating and/or cooling ducts restricted an entire inspection to some areas of the roof space.

Low clearance in sections of roof void restricted reasonable access to the roof space.

Note: Important Limitations for Safe and Reasonable Access

Only areas where reasonable access was available were inspected. AS 4349.3 defines reasonable access and states that access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

ROOF VOID - the dimensions of the access hole must be at least 450mm x 400mm, and, reachable by a 2.1M step ladder or 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl;

ROOF EXTERIOR - must be accessible by a 3.6M ladder

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

Bulk insulation restricting view of roofing timbers.

Truss Webbing

Sub Floor Due To

Not applicable - Slab footings construction.

Reasonable Access

Note: The Australian standard AS3660 refers to AS4349.3-2010 Which defines reasonable access. Access will not be available where there are safety concerns, or obstructions, or the space available is less than the following: Subfloor - Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or, less than 500mm beneath the lowest part of any concrete floor.

It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harboring timber pest activity and/or damage.

Please note since a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

It is strongly recommended that full access be granted to enable a thorough inspection to take place as it could be harboring timber pest activity and/or damage.

2.4 House furnishings

Please Note

Where a property is furnished at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence of timber pest activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

No inspection was made and no report is submitted, of inaccessible areas. If a complete inspection of the areas in the dwelling was not possible, termite activity and/or damage may exist in these areas and nothing in this report implies that any inaccessible or partly inaccessible areas or sections of the property being inspected by me on the date of the inspection were not, or have not been infested by timber pests.

Accordingly, this report does not report on inaccessible areas. This includes but may not be limited to concealed frame timbers, eaves, areas concealed by concrete floors, wall linings, soil, landscaping, rubbish, floor coverings (carpet lino etc.), Furniture, pictures, appliances (dishwashers, refrigerators, washing machines, ovens, microwave ovens, heating and cooling units etc.), Stored items (clothes on floor, boxes on floor and against walls, beds against walls and the like), insulation, hollow blocks/columns/posts/poles or other architectural hollow structures. Furnishings found at this dwelling were not inspected and do not form part of this inspection.

Was the dwelling Furnished

The dwelling was fully furnished.

2.5 Areas of Visual Inspection obstructed and why

Areas Obstructed

Where present carpet conceals damage to the underside, owners possessions, items in cupboards & furniture present throughout the building which is preventing a thorough inspection from being undertaken. You should be aware that furnishings and/or owners possessions may be concealing evidence of timber pests and defects, which may only be revealed when items are removed or moved. It is strongly recommended that full access be gained as it could be harbouring timber pest activity, pest damage or defects.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place. It is strongly recommended that full access be granted to enable a thorough inspection, and could be harbouring timber pest activity and/or damage.

There is heating and/or cooling ducting present in the roof space/void. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity and/or damage.

There is insulation, present in the roof space/void. This is preventing a full inspection from being undertaken. It is strongly recommended that full access be gained as it could be harbouring timber pest activity and/or damage.

Stored item in garage obstructed visual inspection,

Please Note

Please note since a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

The Inspection and Report was carried out by:

State License Number: DB-U xxxxx

Contact the Inspector on:

For and on Behalf of: Inspect365



INSPECT365