

# Stage Inspection Report - Lock Up Pre Plaster

Provided By



**Inspect365**

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## Inspection Address

**24 Sample Drive, Sampleville, VICTORIA, 3000**



## Report Information

### Client Information

Client Name                      Simon Sample

### Inspection Information

Report/Agreement #            16032202201288

Inspection Date:                06 Apr 2022

Inspection Time:                02:20 pm

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## Summary Of Major Defects And Safety Hazards

**Below Is A Summary Of Significant Items Requiring Immediate Action.**

Section	Location	Name	Comment
PLAN CONFIRMATION	Findings	Roof Exterior	Does Not Conform With Plans Roof tiles unfinished at rear of property Roof tiles and flashings unfinished under eaves at front of property
PLAN CONFIRMATION	Findings	Safe Movement & Access	Does Not Conform With Plans No handrails installed on upstairs void major safety hazard No handrails on front balcony major safety hazard The site and internal is very untidy which is unsafe to work around trip hazards exposed nails
PLAN CONFIRMATION	Findings	Glazing	Does Not Conform With Plans Laundry door incorrect size Alfresco sliding door not installed correctly Mould/damage to windows repair prior to fixing stage
PLAN CONFIRMATION	Findings	Wall and Roof Cladding/ Flashings	Does not Conform with plans provided. Flashings incomplete Balcony requires waterproof membrane prior to plastering
PLAN CONFIRMATION	Findings	Wall Frame Fixing/ Levelling	Does not conform with the plans provided. Wall junctions not nailed Walls out of plumb Walls not straightened properly Noggins missing Exposed nails need to be removed Replace water damaged/mouldy timber in family room and kitchen Recommend a qualified carpenter to make good these items before plaster is installed

## Summary Of Minor Defects

**Below Is A Summary Of Defects Other Than Major Defects.**

Section	Location	Name	Comment
PLAN CONFIRMATION	Findings	A/C Unit and Ducting	Does Not Conform With Plans No A/C unit and ducts not installed
PLAN CONFIRMATION	Findings	Insulation	Does Not Conform With Plans None installed
PLAN CONFIRMATION	Findings	Fitting of Plumbing and Electrics	Does Not Conform With Plans No plumbing or electrical rough in installed
PLAN CONFIRMATION	Findings	Eave linings	Does Not Conform With Plans Eaves damage Requires replacement
CONFIRMATION	Inspector's Statement Of Confirmation	Statement Of Confirmation	I do not confirm that the accessible and visually inspected works as described in this report, and inspected by me are consistent with the plans/drawings provided except where otherwise noted in this report. It is my professional opinion that the lock up stage is incomplete all items in this report need to be completed to complete lock up stage

# STAGE BUILDING INSPECTION REPORT

## BUILDING INSPECTION REPORT

**Have Architectural or Structural Engineering Plans been provided for this inspection?**

Yes

Where drawings have not been provided, the inspector cannot check specifications against the plan and can take no responsibility for any inconsistencies between the actual works inspected on site and the actual plans.



**Weather at time of inspection:**  
Dry

# PLAN DETAILS

## Property Plan Details

### Inspection Type

Lockup

### Residential Building Type

Free Standing House

### Levels

Double Storey

### Additions

Attached Garage

### Main Building Subfloor Construction

Slab On Ground

### Main Building Wall Construction

Brick Veneer Construction

Heebel Sheeting

### Main Building Roof Construction

Concrete Tile

### Obstructions and Inaccessible Areas

All normally accessible areas were accessible on the day of the inspection.



# BUILDING WORKS INSPECTED

## Description of Building Works Inspected

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Wall and Roof Cladding and Flashings  
Safe Movement & Access  
Services  
Glazing  
Brickwork  
A/C Unit and Ducting  
Building Interior  
Roof Space  
Waterproofing  
Fixing  
No inspection of roof due to height restrictions

## PLAN CONFIRMATION

### Findings

#### **A/C Unit and Ducting**

Does Not Conform With Plans

No A/C unit and ducts not installed









**Brickwork (Complete/Incomplete)**  
Does Not Conform With Plans















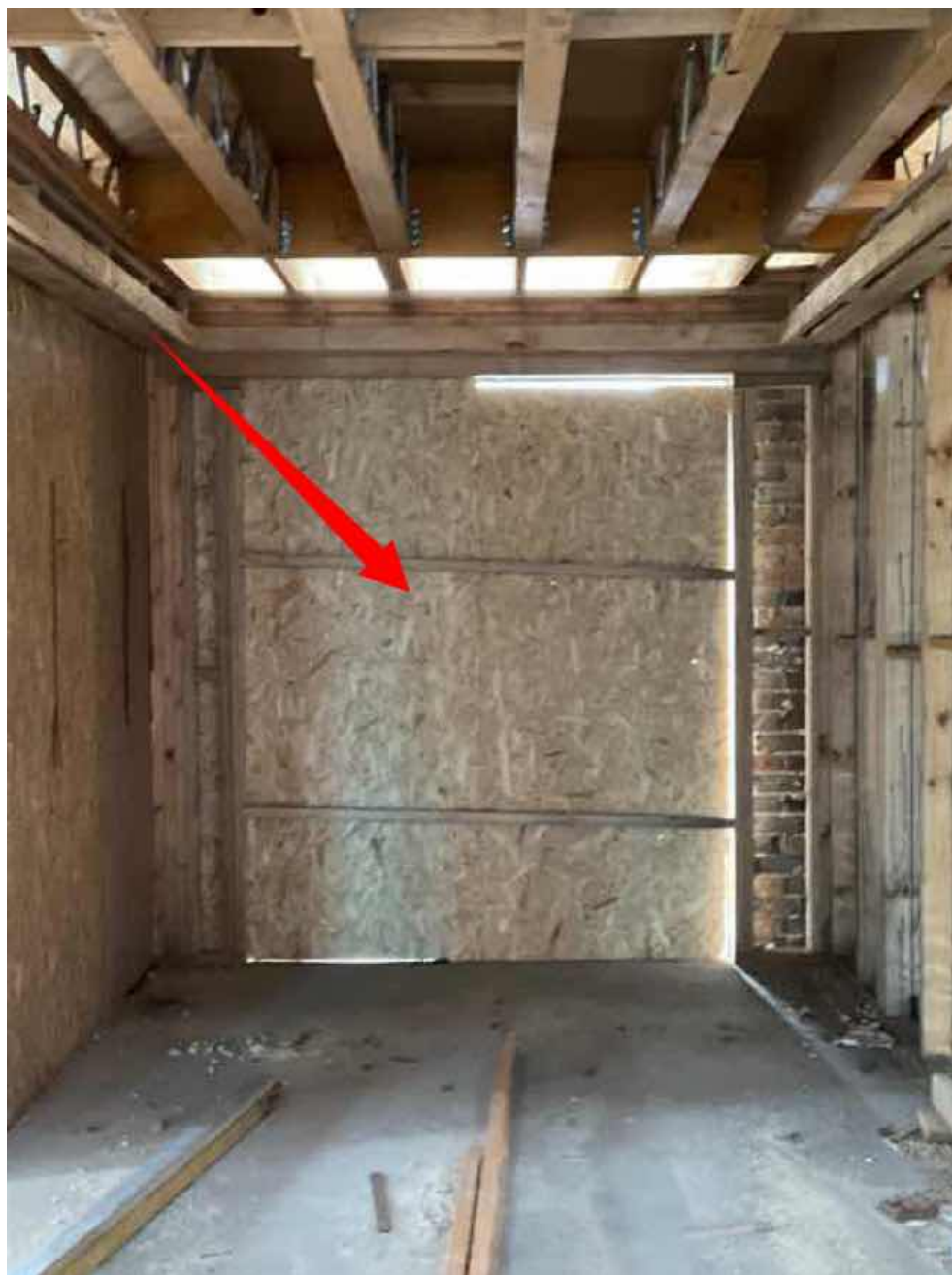






## Doors (Temporary)

Does Not Conform With Plans





## Roof Exterior

Does Not Conform With Plans

Roof tiles unfinished at rear of property

Roof tiles and flashings unfinished under eaves at front of property













## Safe Movement & Access

Does Not Conform With Plans

No handrails installed on upstairs void major safety hazard

No handrails on front balcony major safety hazard

The site and internal is very untidy which is unsafe to work around trip hazards exposed nails

















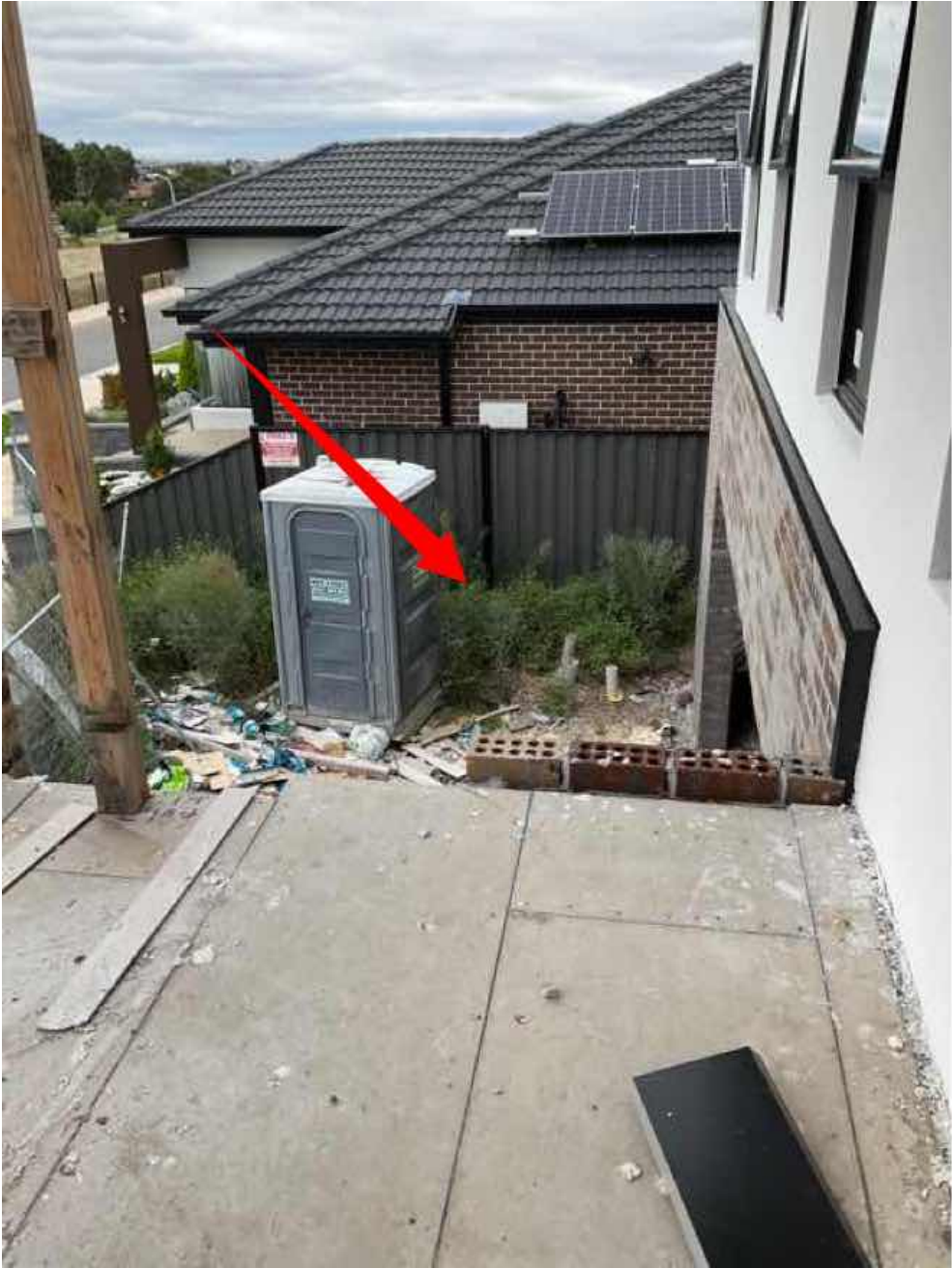


















## Insulation

Does Not Conform With Plans

None installed











## Fitting of Plumbing and Electrics

Does Not Conform With Plans

No plumbing or electrical rough in installed

















## Glazing

Does Not Conform With Plans

Laundry door incorrect size

Alfresco sliding door not installed correctly

Mould/damage to windows repair prior to fixing stage

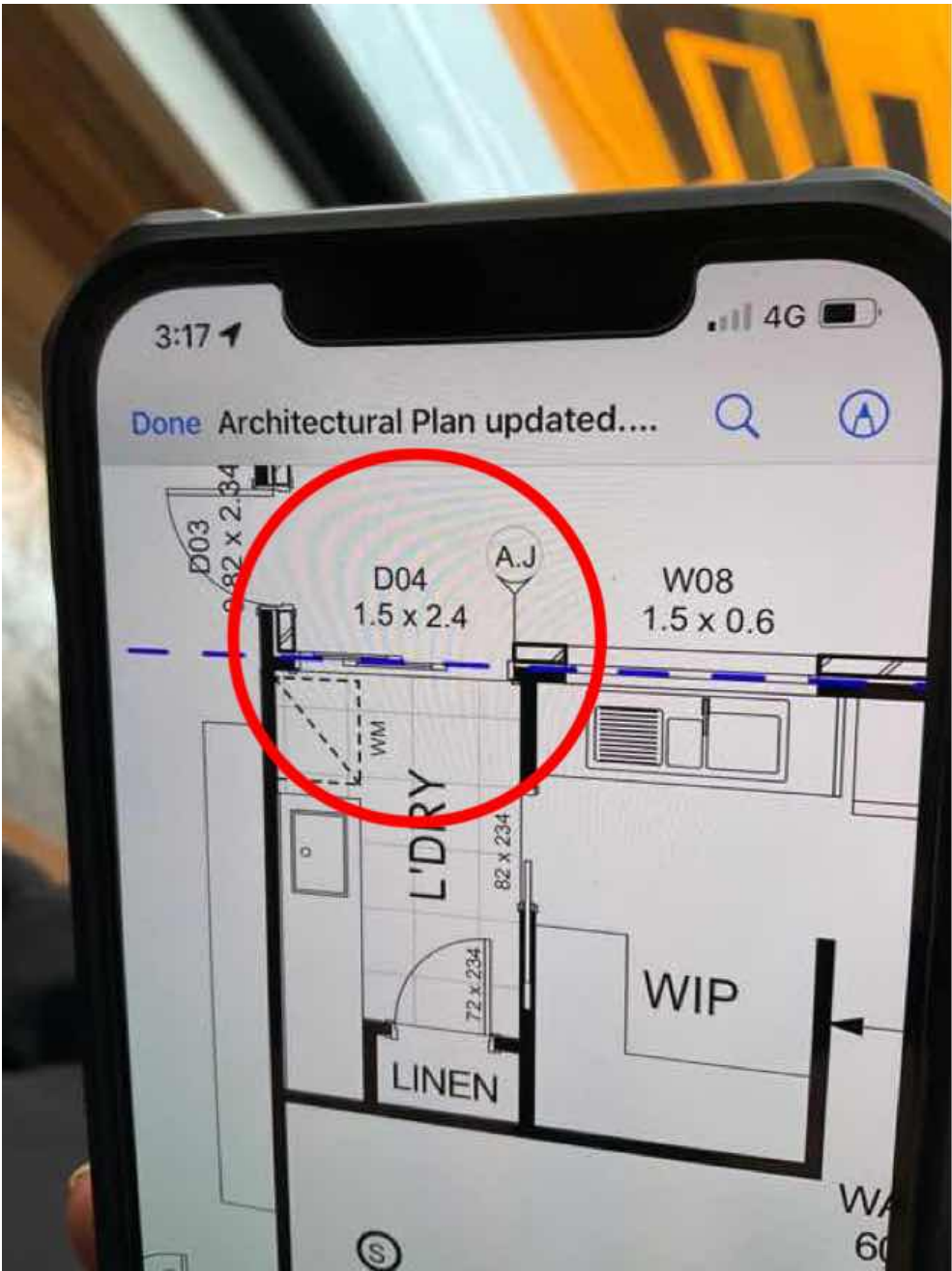




















**Eave linings**

Does Not Conform With Plans

Eaves damage

Requires replacement





## Wall and Roof Cladding/Flashings

Does not Conform with plans provided.

Flashings incomplete

Balcony requires waterproof membrane prior to plastering

















**Sisalation/Builders Wrap**

Conforms with plans provided.









## Wall Frame Fixing/Levelling

Does not conform with the plans provided.

Wall junctions not nailed

Walls out of plumb

Walls not straightened properly

Noggins missing

Exposed nails need to be removed

Replace water damaged/mouldy timber in family room and kitchen

Recommend a qualified carpenter to make good these items before plaster is installed





















































# CONFIRMATION

## Inspector's Statement Of Confirmation

### Statement Of Confirmation

I do not confirm that the accessible and visually inspected works as described in this report, and inspected by me are consistent with the plans/drawings provided except where otherwise noted in this report.

It is my professional opinion that the lock up stage is incomplete all items in this report need to be completed to complete lock up stage

**The Inspection and Report was carried out by: Mark Sample**

**State License Number: DB-U XXXXX**

**Insurance Accreditation Number: Policy 2021-COXXXX-XXX (Inspect365)**

**Contact the Inspector on: 04XX XXX XXX**

**For and on Behalf of: Inspect365**

