

Building & Timber Pest Inspection Report

Provided By



Inspect365

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Report Information

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Inspection Information

Report/Agreement # 220124021820381
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Pest And Building Inspection

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C" and with AS 4349.3-2010 (Visual Timber Pest Inspection Report)

Only the purchaser name at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Changes to the Inspection Agreement: Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Please read the entire report. Refer to the terms & conditions as they form part of the report

Areas to be Inspected and Restrictions

The Building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the Inspection shall include.

- (a) The interior of the building.
- (b) The roof space.

- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection.

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ insulation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

Paint Defects:

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

Paintwork is defective if the application has blemishes such as

- paint runs,
- paint sags,
- wrinkling,
- dust,
- bare or starved painted areas,
- colour variations,
- surface cracks,
- irregular and coarse brush marks,
- sanding marks,
- blistering,
- non-uniformity of gloss level
- other irregularities in the surface

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Any roof which cannot be accessed externally will be thoroughly checked from the inside for moisture ingress using our thermal imaging and moisture meter equipment.

Roof Void & Subfloor

Whilst we will endeavour to do our best to enter the roof void & subfloor. The minimum requirement under legislation is the roof void must have a manhole size 350x450mm (minimum) and the sub floor height is 400mm (minimum) to safely enter. The areas which cannot be accessed will be checked as thoroughly as possible using our thermal imaging equipment and moisture meters.

Very Important note to the purchaser.

In the event that areas where access is restricted or not accessed structural defects, termite damage or activity may be present but not seen. Access should be provided and a follow up or re-Inspection should take place. This Inspection will be charged as a new cost. Please consult with the vendor and request full access to restricted areas. This should be done prior to a decision to purchase.

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
SITE	Fences & Gates	Overall Condition	Fence rot/leaning - Recommendations: Repairs are required by fencing contractor to avoid unsafe conditions. Considered a Safety hazard
SITE	Surface Drainage	Drainage Findings	<p>The ground levels along the perimeter walls of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. Recommendations: This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.</p> <p>The Guide to Standards & Tolerances states: 2.01 Foundation and site drainage – maintenance after occupation The builder is not responsible for foundation movement caused by activities that were not documented at the time of entering into the contract or as variation to that contract, or that are undertaken by the owner. These include paving, landscaping, planting trees and drainage works after the site is handed over to the owner. The builder is not responsible for foundation movement caused by the owner's failure to maintain drainage systems after the site is handed over to the owner.</p> <p>Refer also to Item K of this Guide.</p>

ROOF AND GUTTER	Roof Covering	Flashing Conditions	<p>An inspection of a penetration in the roof found that it has NOT BEEN FLASHED to prevent the entry of water. A square flashing should have been used.</p> <p>NOTES:</p> <p>HB 39 2015 8.6 PENETRATIONS 8.6.1 Collar flashings</p> <p>Where any part of the roof surface is penetrated by any pipe, pole, duct, flue, shaft, cable or tank support, the penetration is to be flashed to prevent the entry of rainwater, and to permit the roof surface and penetrating object to expand and contract without detrimental effect to any part of the roof [see Figure 8.6.1(A)], In addition, particular attention is to be paid to the following:</p> <p>a. Pondage Collar flashings to permit the total drainage of the area above the penetration.</p> <p>b. Material compatibility All collar flashing materials to be as given in Tables 2.3(A) and 2.3(B).</p> <p>c. Inert catchments All collar flashings to be manufactured from materials that—</p> <p>i. are not adversely affected by the run-off from inert catchments; and</p> <p>ii. have no detrimental effect on the roof surface, including gutters, soakers and downpipes.</p> <p>Galvanised steel collar flashings to be installed only on a galvanised steel roof surface.</p> <p>d. Expansion and contraction Penetrations other than synthetic rubber flashings, to leave annular clearances of not less than 20 mm around the perimeter of the penetrating object.</p> <p>e. Baseplate upstand Collar flashings to be either metal spun of one piece or consist of an upstand of not less than 100 mm with a baseplate fastened and sealed to the roof surface.</p> <p>f. Apron A weathering apron to be fastened and sealed around the penetrating object and to overlap the upstand by not less than 50 mm. Sheet metal aprons to be purpose-made and compatible with other roof-covering materials.</p> <p>g. Synthetic rubber collar Flashings of the synthetic rubber type to be installed to manufacturer's specifications [see Figure 8.6.1(B)], Upstands other than the synthetic rubber type are to be fastened and sealed to the roof surface only.</p> <p>h. Soaker support On completion of the installation, the roof surface to be restored to its initial strength [see Figure 8.6.1(C)],</p> <p>i. Pre-coated lead collars Pre-coated lead collars may be used with aluminium, aluminium/zinc alloy-coated, aluminium/zinc/magnesium alloy-coated or prepainted steel.</p> <p>j. Rib sealing Where the installation of collars requires ribs to be cut, the ribs to be fastened and sealed.</p> <p>k. Hot and vibrating pipes Where the penetrating object is subject to excessive heat or vibration, the apron to be physically separated from the upstand.</p> <p>l. Gutter penetrations Penetrations other than overflow provisions and downpipes are not permitted in any part of a roof gutter.</p>
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EXTERIOR	Exterior Windows	Overall Condition	Timber fungal decay is evident in sections of the window framework - All affected areas should be replaced. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
EXTERIOR	Rising Damp	Damp Proof Course	A damp proof course is not visible or could not be visually identified. This may cause rising damp issues. Contact a damp proof course specialist to further investigate and make recommendation.
GARAGE - CARPORT	Garaging	Wall Cladding Findings	Mortar deterioration/fretting on lower walls. This can be associated with rising damp. Recommendations: Further investigation required by a qualified damp proofing specialist or qualified and experienced brick layer for advice and recommendations.
GARAGE - CARPORT	Garaging	Wall Cladding Findings	Salt residue on lower wall/s visible. Further investigation is required. Recommendations: A qualified damp proof course specialist should be engaged for advice and recommendations prior to purchase. Salt residue can be a rising damp indicator however, there can be other causes such as water ponding against the wall or poor drainage in that particular area. Note: It is imperative that specialist advice be sought to obtain accurate diagnosis of the cause and extent of the damp problem and it is advised that you have assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated. Considered a Major Defect
GARAGE - CARPORT	Garaging	Internal Wall Findings	General fungal decay/rot on bottom plate - Recommendations: A qualified carpenter should be engaged for advice and recommendations.
GARAGE - CARPORT	Garaging	Internal Wall Findings	Moisture/damp detected. It is imperative that specialist advice be sought to obtain accurate diagnosis of the cause and extent of the damp problem and it is advised that you have assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.
GARAGE - CARPORT	Garaging	Internal Wall Findings	Termite damage observed to the wall frame. Have treated by a licensed pest controller and timbers replaced by a carpenter.
STAIRS-PERGOLA-BALCONIES-DECKS	Decking Findings	Deck Framework	Timber fungal decay in section of bearers or joists. This is a safety hazard and repair is required. Recommendations: A qualified carpenter should be engaged to replace all affected timbers.
STAIRS-PERGOLA-BALCONIES-DECKS	Decking Findings	Decking Posts	Post base timber fungal decay - The pergola posts had timber fungal decay (rot) on the base and were unstable. Recommendations: This is a safety concern and repairs required by a carpenter. It is preferable to keep posts out of contact with ground soil due to decay and also being conducive to timber pest infestation.
INTERIORS	Entry And Hallways	Ceiling	Ceiling sagging - Requires immediate repairs to prevent further collapse - Recommendations: Contact a licensed plasterer for repairs.

INTERIORS	Entry And Hallways	Ceiling	Ceiling stains - Moisture readings obtained. In the absence of rain It's difficult to ascertain with certainty the location of the leak. Recommendations: A qualified roofer should be engaged for advice and recommendations. All water damaged plaster should be replaced by a qualified plasterer.
INTERIORS	Entry And Hallways	Walls	Skirting board damage. Possibly bath/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / replace skirting boards as required.
INTERIORS	Entry And Hallways	Flooring	Skirt Moisture Damage/Swelling observed. Replacement recommended.
INTERIORS	Lounge Room	Walls	High moisture readings detected. There was no evidence of paint flake , Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.
INTERIORS	Lounge Room	Windows	Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.
INTERIORS	Combo Living & Meals Area	Walls	High moisture readings detected. There was no evidence of paint flake , Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.
INTERIORS	Combo Living & Meals Area	Windows	Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.
INTERIORS	Bedroom 1	Ceiling	Ceiling stains - Moisture readings obtained. In the absence of rain It's difficult to ascertain with certainty the location of the leak. Recommendations: A qualified roofer should be engaged for advice and recommendations. All water damaged plaster should be replaced by a qualified plasterer.
INTERIORS	Bedroom 1	Windows	Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.
INTERIORS	Bedroom 1	Windows	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
INTERIORS	Bedroom 2	Walls	High moisture readings detected. There was no evidence of paint flake , Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.
INTERIORS	Bedroom 2	Walls	High moisture levels detected indication rising damp. Contact a damp proof and ventilation specialist for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.

INTERIORS	Bedroom 2	Windows	Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.
INTERIORS	Bedroom 2	Windows	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 1	Door	Rot observed to the door frame .This may be related to the shower recess due to being near the door. Recommendations: I advise re-sealing the shower recess junctions by a qualified by damp proofing contractor.
BATHROOM(S)	Bathroom 1	Ceiling	Mould spores noted to ceiling. This is a health hazard. See ventilation section
BATHROOM(S)	Bathroom 1	Walls	Skirting board damage in bathroom - Bathroom/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / repair skirting board as required.
BATHROOM(S)	Bathroom 1	Walls	Suspect waterproofing membrane failure. Contact a licensed water proffer for repairs and advice. Note generally re-instating a water proof membrane to a wet area requires the tiles to be removed. This may prove to be costly.
BATHROOM(S)	Bathroom 1	Window	Mould spores noted to this area. This is a health hazard. See ventilation section
BATHROOM(S)	Bathroom 1	Flooring	Drummy tiles noted. This needs to be repaired at the earliest as this has the potential to lead to many related issues such as damp, water ingress to other areas and cracked tiles. Contact a licensed tiler for repairs and recommendation
BATHROOM(S)	Bathroom 1	Flooring	Cracked tile/s noted. This can cause extensive floor and floor frame damage and is conducive to termite infestation if water is leaking through the cavity. A qualified tiler should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 1	Flooring	Deteriorated grout noted. This should be repaired as this will lead to water ingress under the tiles causing uplifting and possible water penetration.
BATHROOM(S)	Bathroom 1	Flooring	There are loose/delaminating tiles. As this is a wet area these should be repaired as soon as possible by a licensed tiler and waterproofing specialist.
BATHROOM(S)	Bathroom 2	Ceiling	Mould spores noted to ceiling. This is a health hazard. See ventilation section
BATHROOM(S)	Bathroom 2	Walls	Skirting board damage in bathroom - Bathroom/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / repair skirting board as required.
BATHROOM(S)	Bathroom 2	Walls	Deteriorated grout noted. This should be repaired as this will lead to water ingress under the tiles causing uplifting and possible water penetration.
BATHROOM(S)	Bathroom 2	Walls	Streak marks indicating possible leak from roof. This need to be monitored during rain periods. If leakage occurred contact a licensed roofer for repairs.

BATHROOM(S)	Bathroom 2	Walls	Suspect waterproofing membrane failure. Contact a licensed water proffer for repairs and advice. Note generally re-instating a water proof membrane to a wet area requires the tiles to be removed. This may prove to be costly.
BATHROOM(S)	Bathroom 2	Window	Mould spores noted to this area. This is a health hazard. See ventilation section
KITCHEN & LAUNDRY	Kitchen and Meals Area	Floor	Decay noted to the timber floor. It is strongly recommended that all affected timbers be replaced. This presents a Safety Hazard. Contact a licensed carpenter for repairs.
SUBFLOOR	Sub-Floor Observation.	General Condition	<p>Subfloor was not entered and viewed from outside due to potentially toxic mold presenting a health hazard to the inspector.</p> <p>Yellow mold forms after an extended period of moisture presence in the sub-floor. This could be due to insufficient point of egress for ground water or a potential leak.</p> <p>Further invasive inspection recommended.</p> <p>What is yellow mold?</p> <p>Like all mold, yellow mold is a type of fungus. As a living organism, it feeds on a combination of moisture, oxygen and organic matter—all of which can be found in your home. Of the thousands of species of mold, many of them can take on a yellow appearance, so keep an eye out and know to suspect mold if you see a yellowish coating on household surfaces, especially where it's damp.</p> <p>Health risks of yellow mold</p> <p>As with all mold, various strains of yellow mold can be hazardous to your health. You or your family may experience allergic reactions, illness or you may even be poisoned by toxins created by certain types of mold.</p> <p>For general information on health risks of mold, see our article on Health Effects of Mold. But for some specific examples of concerns linked to yellow mold in particular, read on...</p> <p>Is yellow mold dangerous and toxic?</p> <p>Some species of yellow mold produce poisons called mycotoxins. These poisons can enter the body through breathing in spores from yellow mold in the home, through the skin by touching yellow mold, or otherwise ingesting the toxin. There are many types of mycotoxin, and illnesses resulting from mycotoxin poisoning can vary from acute to chronic, mild to severe.</p> <p>You might be familiar with "toxic black mold" that is notorious for producing these harmful mycotoxins, but some yellow mold can produce it too. Therefore, if you find yellow mold in your household, it's important to eradicate it right away.</p>
SUBFLOOR	Sub-Floor Observation.	Ventilation	Subfloor ventilation appeared to be limited. This may be conducive to timber decay. Improvement to the ventilation is recommended. Contact a licensed builder for advise and rectification.
CONCLUSION	Condition Of Inspected Structure	The incidence of Major Defects	The incidence of major defects in this residential building as compared with similar buildings is considered HIGH

CONDUCTIVE CONDITIONS	4. Conducive Conditions to Timber Pests	Water leaks	There was water leakage detected during the inspection that appeared to be emanating from the bathroom/shower recess. Recommendations: Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.
CONDUCTIVE CONDITIONS	6. Areas Found Conducive To Termite Infestation	Conducive Areas Requiring Amendments	Leaking bathroom into subfloor timbers. This causes moisture and excess moisture is conducive to termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

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Summary Of Minor Defects

Below Is A Summary Of Defects Other Than Major Defects.

Section	Location	Name	Comment
SITE	Driveway	Driveway Condition	Common cracks & settlement were observed on the driveway. Maintenance is recommended. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice. The Guide to Standards & tolerances states: 2.10 Cracks in concrete slabs Refer to Table 2.10 for descriptions of categories of cracks. Cracks to slabs are defective where they are Category 3 and 4. Category 1 and 2 cracks to slabs are to be monitored for a period of 12 months. At the end of the monitoring period, cracks are defective if they are greater than category 2 and attributed to the actions of the builder.
SITE	Paths	Pathways Condition	Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.
SITE	Retaining Walls	Overall Condition	Retaining wall cracking - Recommendations: A qualified brick layer should be engaged for advice and recommendations.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Metal roof is rusting and requires maintenance as the may lead to water ingress into the roof cavity. Contact a licensed roofing contractor for immediate repairs.
ROOF AND GUTTER	Roof Covering	Roof Clad Condition	Trees overhang on roof - Recommendations: Cut back to prevent damage and blocked guttering and associated problems.
ROOF AND GUTTER	Roof Covering	Flashing Conditions	Flash cracking observed. Contact a roofing contractor for repairs. This has potential to become a serious issue if repairs aren't carried out immediately due to water ingress into the roof cavity
ROOF AND GUTTER	Roof Covering	Flashing Conditions	An inspection of the capping found that It is NOT ADEQUATE. RECOMMENDATION: ADJUST TO ACHIEVE 3° FALL NOTES: SA HB 39:2015 8.7 (B) (b) Parapet cappings Parapet cappings to be fixed to parapet walls at intervals not exceeding 500 mm with masonry anchors and cleats that permit longitudinal expansion and contraction. A minimum fall of 3° to be provided across the width of the flashing, to divert water back onto the roof coverings so as to prevent the water from dripping down the fascia causing unsightly staining [see Figure 8.7(A)]

ROOF AND GUTTER	Guttering	Gutter Findings	Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	Insufficient in the inspectors opinion. Add more to aid with water dispensing. Contact a roof plumber for further advice and recommendations
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	Leaking down pipe joins visible. This can be conducive to termite infestation and cause water damage to cladding over time. Recommendations: A qualified roof plumber should be engaged to repair.
EXTERIOR	External Door Components	Door Findings	General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter/painter should be engaged for advice and recommendations.
EXTERIOR	External Door Components	Door Findings	Damp damage to door/frame - It appear water has damaged / penetrated areas of the door/framing. Recommendations: A qualified carpenter should be engaged for advice and recommendations re repair/sealing from weathering.
EXTERIOR	External Door Components	Door Findings	Door frames are damaged. A carpenter or a builder should be consulted for repairs.
EXTERIOR	External Door Components	Door Findings	The laundry door is weathered and deteriorated. Repair or replacement recommended
EXTERIOR	Exterior Walls	Condition	There appears to have been some settlement in the building which has caused some cracking to the walls. These crack are catergorized as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. Any cracks should be monitored and if cracks increase in size. For clarification on the catergy of cracks please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions.
EXTERIOR	Exterior Walls	Condition	The expansion/articulation joints have not been sealed. Standards & tolerances Expansion Joints A concrete expansion joint is a material placed in the concrete slab during the construction process to allow for expansion and contraction of the concrete due to changes in temperature and moisture levels. This helps to prevent cracking and damage to the concrete surface. The expansion joint typically consists of a compressible filler material, such as cork, rubber, or foam, that is placed between two concrete slabs. The filler material is flexible and provides a space for the concrete to expand into, reducing stress and preventing cracking.
EXTERIOR	Exterior Windows	Overall Condition	Deterioration of sections of window putty was observed -Recommendations: A qualified glazier should be engaged for repairs.

EXTERIOR	Exterior Windows	Overall Condition	Sections of the external windows have paint deterioration - Engage a qualified painter for repairs.
EXTERIOR	Fascia and Barge Boards	Condition	Minor deterioration & ageing evident. Recommendations: Maintenance works, general upkeep should be carried out.
EXTERIOR	Fascia and Barge Boards	Condition	Paint / finish was deteriorated in areas and is in need of maintenance - Sanding back affected areas and painting required.
EXTERIOR	Entry Porch Area	Ceiling Lining Condition	Ceiling lining join cracks. Contact a licensed plasterer for repairs.
EXTERIOR	Entry Porch Area	Ceiling Lining Condition	Ceiling paint flake/deterioration is evident. Recommendations: General maintenance/painting as required.
GARAGE - CARPORT	Garaging	Roof And Gutter	Minor flashing lift/detachment - Recommendations: A qualified roofer should be engaged for advice and recommendations. Considered a minor defect but has the potential to become a Major defect if repairs aren't carried out immediately due to water ingress into the roof cavity
GARAGE - CARPORT	Garaging	Roof And Gutter	Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.
GARAGE - CARPORT	Garaging	Roof And Gutter	Clear all vegetation and shrubs.
GARAGE - CARPORT	Garaging	Door Findings	Garage door lock was damaged - Recommendations: A locksmith should be engaged for advice and recommendations.
GARAGE - CARPORT	Garaging	Door Findings	The pedestrian access door has weathered and needs minor maintenance. Recommend engaging carpenter/painter for repairs.
GARAGE - CARPORT	Garaging	Ceiling Findings	Butt joint separation noted to ceiling lining. Contact a licensed plasterer for repairs.
GARAGE - CARPORT	Garaging	Internal Wall Findings	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
GARAGE - CARPORT	Garaging	Internal Wall Findings(1)	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
GARAGE - CARPORT	Garaging	Internal Wall Findings(1)	Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads. It is in my professional opinion that this is general settlement and caulking of the joint will suffice.
STAIRS-PERGOLA-BALCONIES-DECKS	Decking Findings	Deck Framework	Moisture damage was observed on deck boards & components. Recommendations: Recommend evaluation and repairs by a qualified carpenter.

STAIRS- PERGOLA- BALCONIES- DECKS	Decking Findings	Deck Framework	Poor support to timber support causing over span due to collapsed pier/s Contact a licensed bricklayer for repairs
STAIRS- PERGOLA- BALCONIES- DECKS	Decking Findings	Decking Timber	Decking board surfaces are weathered - Recommendations: We recommend cleaning and maintenance as needed.
INTERIORS	Doors	Front Entry Doors	Damp damage to entry door/frame - It appear water has damaged / penetrated areas of the framing. I am not able to ascertain if this is still occurring and this can only be ascertained during heavy rainfall periods. Recommendations: If penetration occurs a qualified carpenter should be engaged for advice and recommendations re repair/sealing from weathering.
INTERIORS	Doors	Front Entry Doors	The entry door lock was damaged/deteriorated - Recommendations: A locksmith should be engaged for advice and recommendations.
INTERIORS	Doors	Other Doors	Rear door / frame deterioration - General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
INTERIORS	Doors	Other Doors	Damp damage to door/frame. Replacement recommended.
INTERIORS	Entry And Hallways	Ceiling	Ceiling damage patching is evident. I recommend you contact a licensed plasterer for repairs
INTERIORS	Entry And Hallways	Walls	Impact damage noted. Contact a licensed plasterer for repairs.
INTERIORS	Entry And Hallways	Walls	Incomplete Patch/Paint repairs noted. Call a licensed painter for repairs
INTERIORS	Entry And Hallways	Flooring	Stained timber flooring - This is normally due some water penetration. This will not be able to be removed and options include replacement, staining all the boards dark or lining same to cover. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
INTERIORS	Lounge Room	Ceiling	Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations
INTERIORS	Lounge Room	Walls	General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
INTERIORS	Lounge Room	Walls	Skirting board damage/deterioration - Recommendations: A qualified carpenter should be engaged to replace.
INTERIORS	Lounge Room	Windows	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. Recommendations: General maintenance works required.
INTERIORS	Lounge Room	Windows	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

INTERIORS	Combo Living & Meals Area	Ceiling	Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations
INTERIORS	Combo Living & Meals Area	Ceiling	Ceiling paint flake/deterioration is evident. Recommendations: General maintenance / painting as required.
INTERIORS	Combo Living & Meals Area	Walls	Skirting board damage/deterioration - Recommendations: A qualified carpenter should be engaged to replace.
INTERIORS	Combo Living & Meals Area	Walls	Wall stains observed - No abnormal moisture readings obtained. Recommendations: These may have been repaired, however, you will need to monitor this area and is further staining or flaking appears contact a licensed plumber for further investigation.
INTERIORS	Combo Living & Meals Area	Windows	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. Recommendations: General maintenance works required.
INTERIORS	Combo Living & Meals Area	Windows	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
INTERIORS	Combo Living & Meals Area	Flooring	Stained timber flooring - This is normally due some water penetration. This will not be able to be removed and options include replacement, staining all the boards dark or lining same to cover. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
INTERIORS	Bedroom 1	Door	Impact damage to door observed. Repairs / Replacement recommended
INTERIORS	Bedroom 1	Ceiling	Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations
INTERIORS	Bedroom 1	Walls	General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
INTERIORS	Bedroom 1	Walls	Incomplete Patch/Paint repairs noted. Call a licensed painter for repairs
INTERIORS	Bedroom 1	Walls	Skirting board damage/deterioration - Recommendations: A qualified carpenter should be engaged to replace.
INTERIORS	Bedroom 1	Walls	Wall stains observed - No abnormal moisture readings obtained. Recommendations: These may have been repaired, however, you will need to monitor this area and is further staining or flaking appears contact a licensed plumber for further investigation.
INTERIORS	Bedroom 1	Windows	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. Recommendations: General maintenance works required.
INTERIORS	Bedroom 2	Door	Impact damage to door observed. Repairs / Replacement recommended

INTERIORS	Bedroom 2	Walls	General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
INTERIORS	Bedroom 2	Walls	Settlement Cracks Noted. These are typical and generally patch and paint will suffice, however we recommend monitor for 12 months.
INTERIORS	Bedroom 2	Windows	Movement/settlement/unevenness in frame. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 1	Walls	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
BATHROOM(S)	Bathroom 1	Walls	Wall paint flake/deterioration is evident. Recommendations: General maintenance / painting as required.
BATHROOM(S)	Bathroom 1	Walls	Cracked tile/s noted. A qualified tiler should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 1	Window	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 2	Ceiling	Moisture damage was noted to the ceiling lining though no abnormal moisture readings detected at the time of inspection, however this does not mean that you should rule out an active leak. Monitor for leaks and contact a licensed plumber and plasterer for repairs as required.
BATHROOM(S)	Bathroom 2	Walls	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
BATHROOM(S)	Bathroom 2	Walls	Cracked tile/s noted. A qualified tiler should be engaged for advice and recommendations.
BATHROOM(S)	Bathroom 2	Window	General age wear deterioration - The window frame/ components showed evidence of ageing and wear. Recommendations: General maintenance works required.
BATHROOM(S)	Bathroom 2	Window	Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Ceiling	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Ceiling	Ceiling stains - No moisture readings obtained from same. Recommendations: These may have been repaired, however, you will need to monitor after a prolonged period of rainfall - If leaking persists, a qualified plumber should be engaged for advice and recommendations. Essentially, it is preferable to have all water damaged plaster replaced by a qualified plasterer due to potential detachment or collapse.

KITCHEN & LAUNDRY	Kitchen and Meals Area	Walls	General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Walls	Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Floor	Skirting boards are water damaged and should be replaced.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Sink and Taps	Bench top and splash back junction sealing deteriorated - Recommendations: Re-sealing by a plumber or general maintenance contractor is recommended to prevent water access behind the bench.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Sink and Taps	The tap / tap head is leaking . A qualified plumber should be engaged for repairs.
KITCHEN & LAUNDRY	Kitchen and Meals Area	Cupboards And Bench Tops	Water damage to cabinet observed. Replacement required. Contact a cabinet maker for repairs.
SUBFLOOR	Sub-Floor Observation.	Dampness	Dampness in sub floor soil. Damp sub floor soil should be avoided as it can cause fungal decay, mould and possibly footings problems. Recommendations: A qualified drainage plumber should be engaged for advice and recommendations.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	The incidence of minor defects in this residential building as compared with similar buildings is considered HIGH
TIMBER PEST FINDINGS	3.4 Durable Notice	Was a Treatment Notice Found	No, a durable notice was not found during the inspection. IT IS STRONGLY RECOMMENDED that a treatment in Accordance with Australian Standard 3660 be carried out and a Certificate of Warranty Placed in the Electrical Meter Box. This protects you against the possibility of termite infestation or attack. If you do not have this treatment and compliance, any future Insurance claims will be rejected in the event of any wood or structural damage as a result of timber Pest attack. If you are successful with the purchase of this home, please contact our office and we can arrange for one of our Registered Pest Control Technicians to complete this service at a discounted rate. This treatment ideally should be carried out before any furniture or people/pets move in so all areas can be accessed.

SITE

Driveway

Materials

The driveway is concrete.



Driveway Condition

Common cracks & settlement were observed on the driveway. Maintenance is recommended. Note: Whilst these cracks appeared to be minor at the time of inspection, we strongly recommend you monitor these cracks and if worsening occurs contact a concreter for further advice.

TABLE 2.10 CLASSIFICATION OF DAMAGE TO CONCRETE FLOORS

Description of typical damage	Approximate crack width limit in floor	Change in offset from 3 m straight edge placed over defect	Damage category
Hairline cracks - insignificant movement of slab from level	< 0.3 mm	< 8 mm	0 Negligible
Fine but noticeable cracks - Slab reasonably level	< 1.0 mm	< 10 mm	1 Very slight
Distinct cracks - Slab noticeably curved or changed in level	> 2.0 mm	< 15 mm	2 Slight
Wide cracks - obvious curvature or change in level	2 mm to 4 mm	15 mm to 25 mm	3 Moderate
Gaps in slab, Disturbing curvature or change in level	4 mm to 10 mm	> 25 mm	4 Severe

Taken from AS 2870: Residential slabs and footings - Construction, Table C2: Classification of damage with reference to concrete floors. Reproduced with permission from SAI Global Ltd under Licence 1407-c122.

Notes to Table 2.10

1. The straightedge is centred where possible over the defect, and supported at its ends by equal height spacers. The change in offset is then measured relative to this straightedge, which is not necessarily horizontal.
2. Local deviation of slope, from the horizontal or vertical, of more than 1:100 will normally be clearly visible. Overall deviations in excess of 1:150 is undesirable.
3. Account should be taken of the past history of damage in order to assess whether it is stable or likely to increase.



The Guide to Standards & tolerances states:

2.10 Cracks in concrete slabs

Refer to Table 2.10 for descriptions of categories of cracks. Cracks to slabs are defective where they are Category 3 and 4. Category 1 and 2 cracks to slabs are to be monitored for a period of 12 months. At the end of the monitoring period, cracks are defective if they are greater than category 2 and attributed to the actions of the builder.

Paths

Pathways Condition

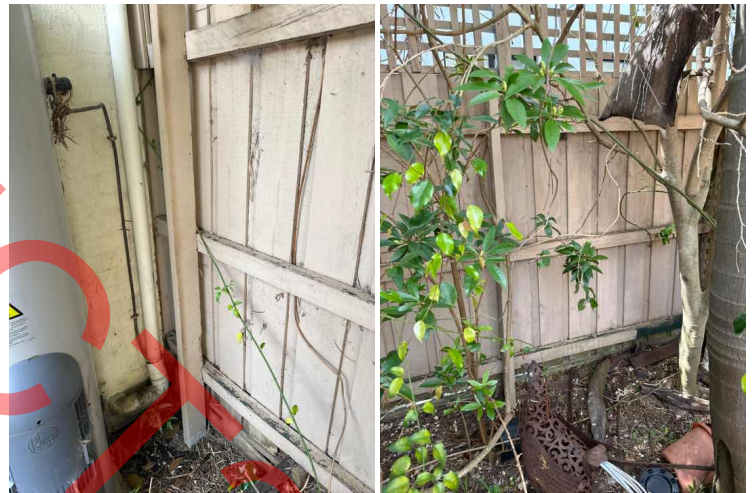
Surface raised and settled in some areas. This can cause water ponding. Relaying recommended.



Fences & Gates

Overall Condition

Fence rot/leaning - Recommendations: Repairs are required by fencing contractor to avoid unsafe conditions. Considered a Safety hazard



Retaining Walls

NOTE

As per Section 3.21 and appendix C6 of Australian Standards AS4349.1-2007 only retaining and landscaping walls over 700mm high shall be inspected.

Retaining walls were only inspected from within the boundary. Retaining walls that are not visible from within the boundary have not been inspected. Permission from adjoining properties should be obtained for these areas to be inspected.

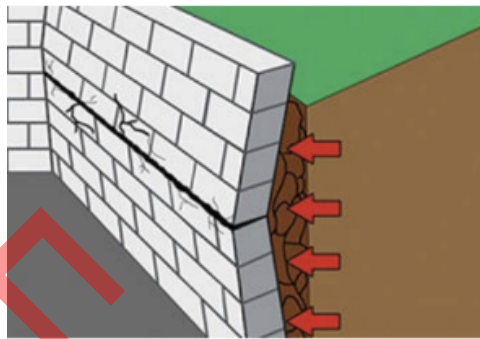
Material

The retaining all is a concrete block construction.



Overall Condition

Retaining wall cracking - Recommendations:
A qualified brick layer should be engaged for
advice and recommendations.



Surface Drainage

Drainage Findings

The ground levels along the perimeter walls of the home did not appear to fall away from the property walls sufficiently due to the natural landscape and contour. **Recommendations:** This will need to be assessed during a period of rainfall and if surface water appears to be entering the sub floor if applicable or ponding against the perimeter walls, engage a plumber or landscaper to assess and rectify as required. All drains should be regularly checked by a plumber and kept clean of debris to allow surface water to be carried away from the dwelling.

The Guide to Standards & Tolerances states:

2.01 Foundation and site drainage – maintenance after occupation

The builder is not responsible for foundation movement caused by activities that were not documented at the time of entering into the contract or as variation to that contract, or that are undertaken by the owner. These include paving, landscaping, planting trees and drainage works after the site is handed over to the owner.

The builder is not responsible for foundation movement caused by the owner's failure to maintain drainage systems after the site is handed over to the owner.

Refer also to Item K of this Guide.



ROOF AND GUTTER

Roof Covering

General Disclaimer

Refer to Section 2C of the Terms And Conditions section of this report

Roof Covering Type

Metal roof cladding



Overall Condition

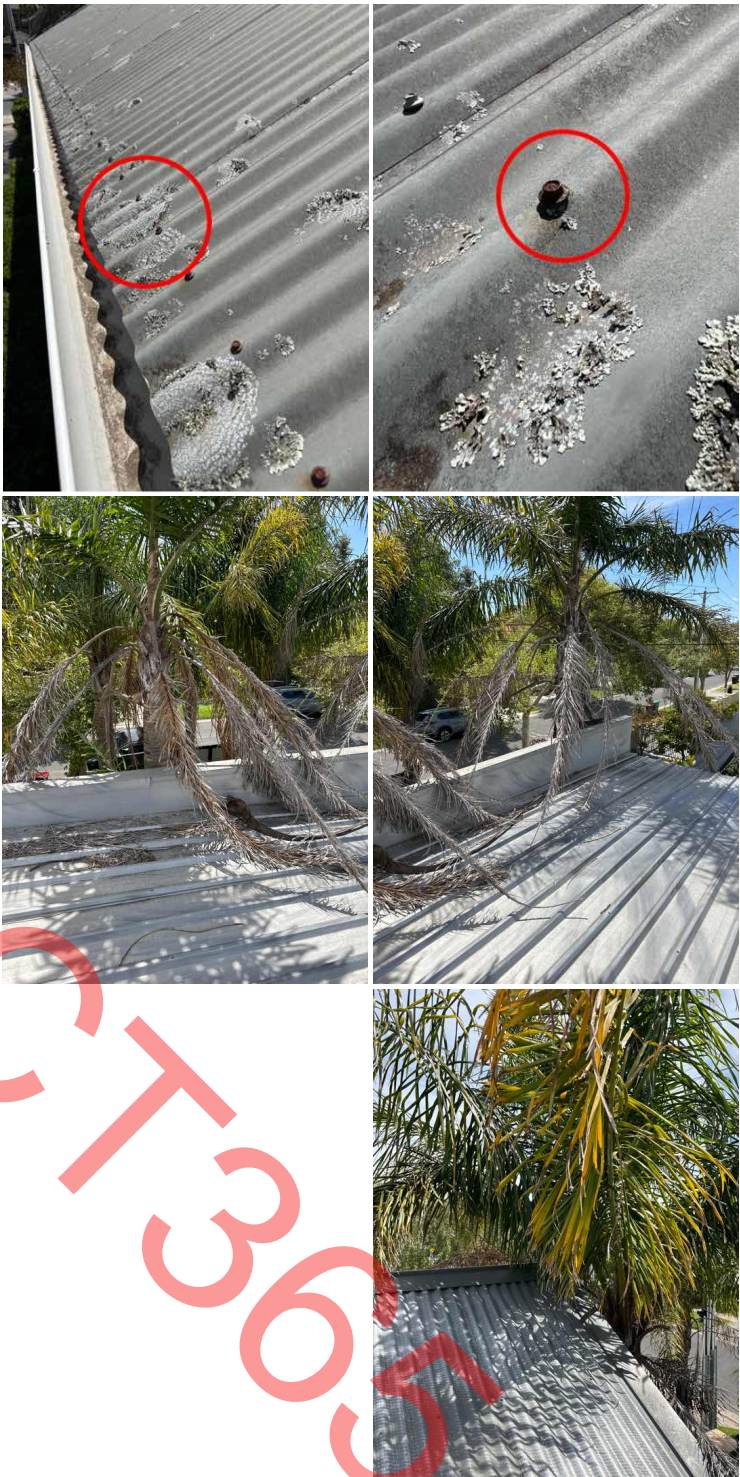
On inspection, defects were noted that may require further assessment and recommendations by licensed roofer.

Roof Clad Condition

Metal roof is rusting and requires maintenance as the may lead to water ingress into the roof cavity. Contact a licensed roofing contractor for immediate repairs.

Trees overhang on roof - Recommendations: Cut back to prevent damage and blocked guttering and associated problems.





Flashing Conditions

Minor flashing lift/detachment - Recommendations: A qualified roofer should be engaged for repairs and recommendations.

Flash cracking observed. Contact a roofing contractor for repairs. This has potential to become a serious issue if repairs aren't carried out immediately due to water ingress into the roof cavity

An inspection of the capping found that It is **NOT ADEQUATE**.

RECOMMENDATION:

ADJUST TO ACHIEVE 3° FALL

NOTES:

SA HB 39:2015 8.7 (B)

(b) Parapet cappings Parapet cappings to be fixed to parapet walls at intervals not exceeding 500 mm with masonry anchors and cleats that permit longitudinal expansion and contraction. A minimum fall of 3° to be provided across the width of the flashing, to divert water back onto the roof coverings so as to prevent the water from dripping down the fascia causing unsightly staining [see Figure 8.7(A)]

An inspection of a penetration in the roof found that it has **NOT BEEN FLASHED** to prevent the entry of water.

A square flashing should have been used.

NOTES:

HB 39 2015 8.6 PENETRATIONS 8.6.1 Collar flashings

Where any part of the roof surface is penetrated by any pipe, pole, duct, flue, shaft, cable or tank support, the penetration

is to be flashed to prevent the entry of rainwater, and to permit the roof surface and penetrating object to expand and

contract without detrimental effect to any part of the roof [see Figure 8.6.1(A)], In addition, particular attention is to be

paid to the following:

- a. Pondage Collar flashings to permit the total drainage of the area above the penetration.
- b. Material compatibility All collar flashing materials to be as given in Tables 2.3(A) and 2.3(B).
- c. Inert catchments All collar flashings to be manufactured from materials that—
 - i. are not adversely affected by the run-off from inert catchments; and
 - ii. have no detrimental effect on the roof surface, including gutters, soakers and downpipes.

Galvanised steel collar flashings to be installed only on a galvanised steel roof surface.

d.Expansion and contraction Penetrations other than synthetic rubber flashings, to leave annular clearances of not less

than 20 mm around the perimeter of the penetrating object.

e.Baseplate upstand Collar flashings to be either metal spun of one piece or consist of an upstand of not less than 100

mm with a baseplate fastened and sealed to the roof surface.

f.Apron A weathering apron to be fastened and sealed around the penetrating object and to overlap the upstand by not

less than 50 mm. Sheet metal aprons to be purpose- made and compatible with other roof-covering materials.

g.Synthetic rubber collar Flashings of the synthetic rubber type to be installed to manufacturer's specifications [see Figure

8.6.1(B)], Upstands other than the synthetic rubber type are to be fastened and sealed to the roof surface only.

h.Soaker support On completion of the installation, the roof surface to be restored to its initial strength [see Figure

8.6.1(C)],

i.Pre-coated lead collars Pre-eoatcd lead collars may be used with aluminium, aluminium/zine alloy-coated, aluminium/zinc/magnesium alloy-coated or prepainted steel.

j.Rib sealing Where the installation of collars requires ribs to be cut, the ribs to be fastened and sealed.

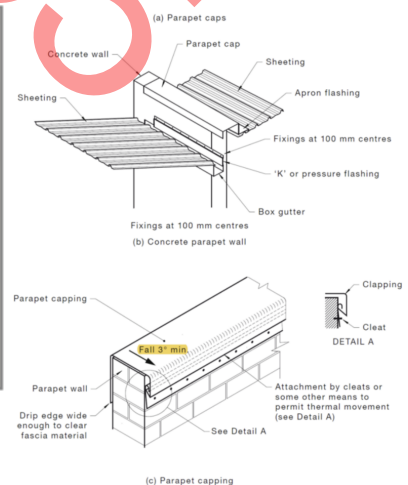
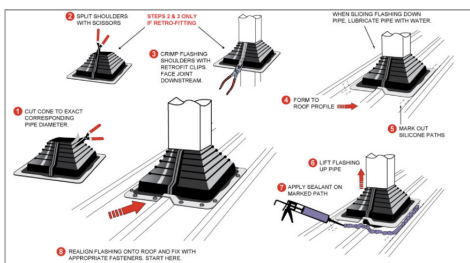
k.Hot and vibrating pipes Where the penetrating object is subject to excessive heat or vibration, the apron to be physically

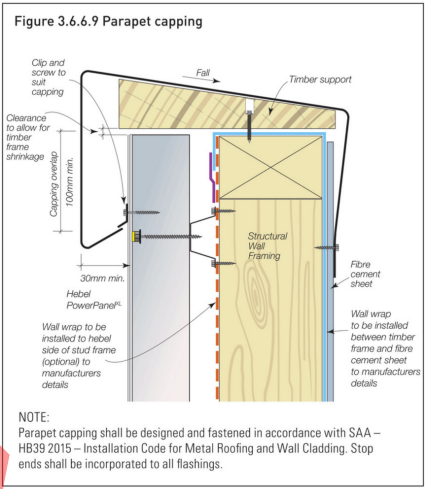
separated from the upstand.

l.Gutter penetrations Penetrations other than overflow provisions and downpipes arc not permitted in any part of a roof

gutter.

Installation Overview







Guttering

Gutter Findings

Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.



Down Pipes

Down Pipe Findings

Insufficient in the inspectors opinion. Add more to aid with water dispensing. Contact a roof plumber for further advice and recommendations

Leaking down pipe joins visible. This can be conducive to termite infestation and cause water damage to cladding over time. Recommendations: A qualified roof plumber should be engaged to repair.



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HOT WATER SYSTEM

Hot Water Unit

Hot Water Unit Findings

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.



System Location

The hot water unit is located outside.

System Type

The hot water unit is a gas storage system.

System Make

The make of the hot water unit is rheem.

System Year of Manufacture

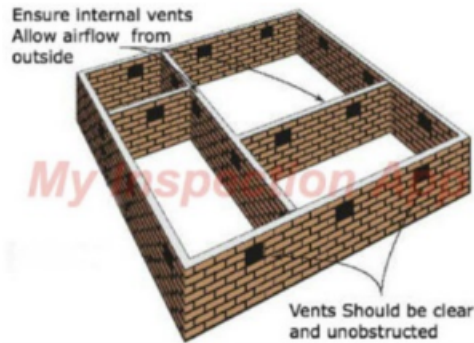
Traditional storage tank water heaters have a life span of **around 10 years**. Tankless hot water systems such as instantaneous hot water systems can last up to 20 years.

EXTERIOR

Weep Holes and Ventilation

Findings

The vents are unobstructed.



External Door Components

Door Findings

General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter/painter should be engaged for advice and recommendations.

Damp damage to door/frame - It appear water has damaged / penetrated areas of the door/framing. Recommendations: A qualified carpenter should be engaged for advice and recommendations re repair/sealing from weathering.

Door frames are damaged. A carpenter or a builder should be consulted for repairs.

The laundry door is weathered and deteriorated. Repair or replacement recommended





Exterior Walls

General Disclaimer

Refer to Section 2D of the Terms And Conditions section of this report.

Exterior Wall Material

Rendered Masonry



Condition

There appears to have been some settlement in the building which has caused some cracking to the walls. These cracks are categorized as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. Any cracks should be monitored and if cracks increase in size.

For clarification on the category of cracks please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions.

The expansion/articulation joints have not been sealed.

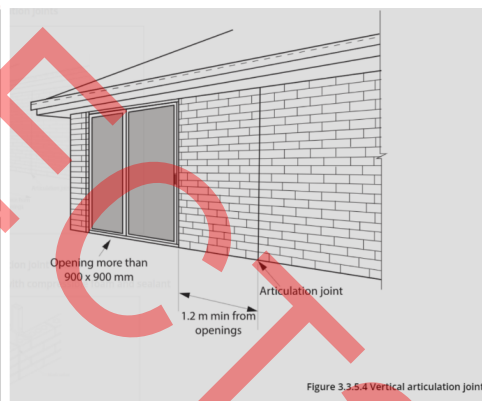
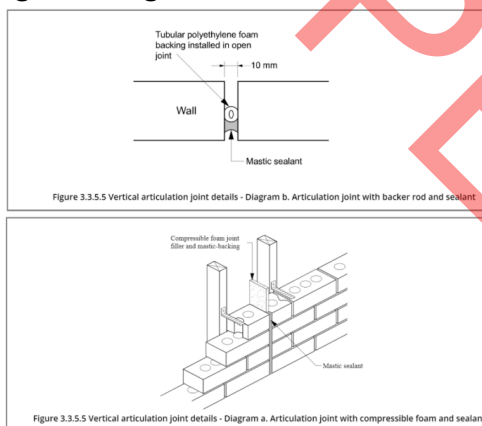
Standards & tolerances

Expansion Joints

A concrete expansion joint is a material placed in the concrete slab during the construction process to allow for expansion and contraction of the concrete due to changes in temperature and moisture levels.

This helps to prevent cracking and damage to the concrete surface. The expansion joint typically consists of a compressible filler material, such as cork, rubber, or foam, that is placed between two concrete slabs.

The filler material is flexible and provides a space for the concrete to expand into, reducing stress and preventing cracking.



Exterior Windows

General Disclaimer

Please refer to section 2D of the Terms And Conditions Section of this report

Overall Condition

General age/damage has occurred to window components. Recommendations: Restoration work recommended. A qualified carpenter should be engaged for advice and recommendations.

Deterioration of sections of window putty was observed - Recommendations: A qualified glazier should be engaged for repairs.

Sections of the external windows have paint deterioration - Engage a qualified painter for repairs.

Timber fungal decay is evident in sections of the window framework - All affected areas should be replaced. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

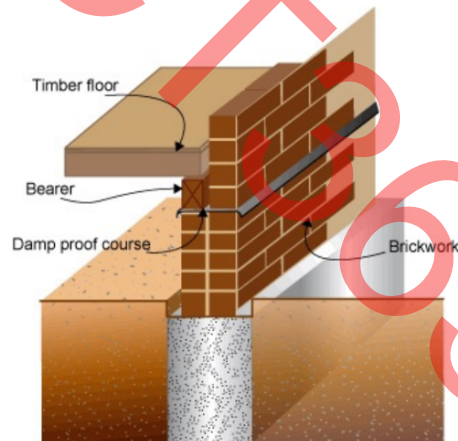




Rising Damp

Rising Damp Findings

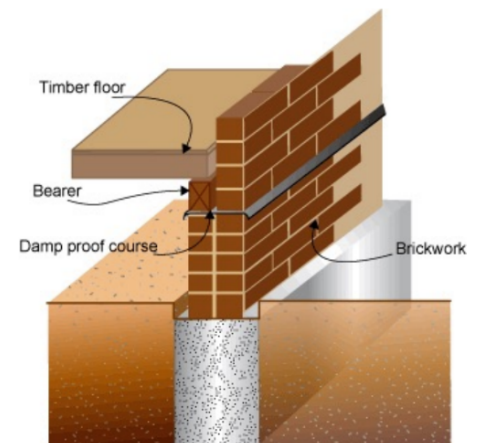
Of the visible and accessible areas, there was no visible evidence of excessive rising damp on the external walls at time of inspection.





Damp Proof Course

A damp proof course is not visible or could not be visually identified. This may cause rising damp issues. Contact a damp proof course specialist to further investigate and make recommendation.

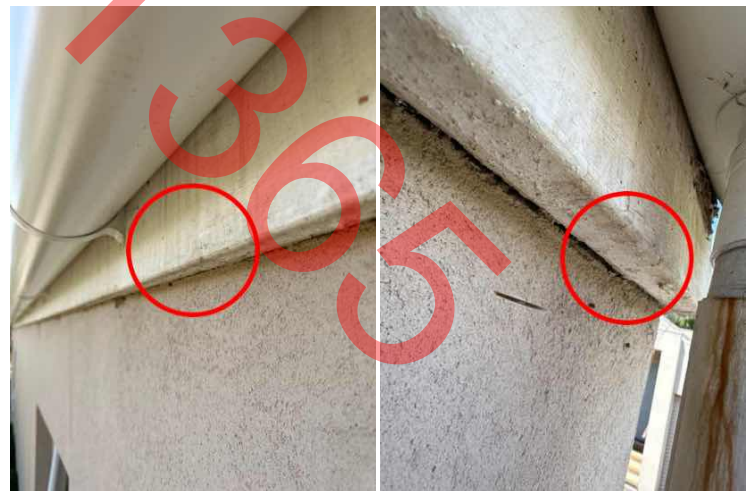


Fascia and Barge Boards

Condition

Minor deterioration & ageing evident.
Recommendations: Maintenance works, general upkeep should be carried out.

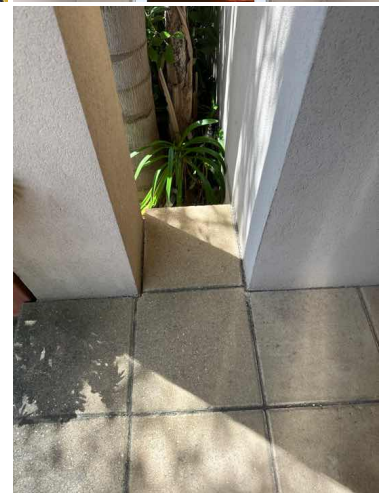
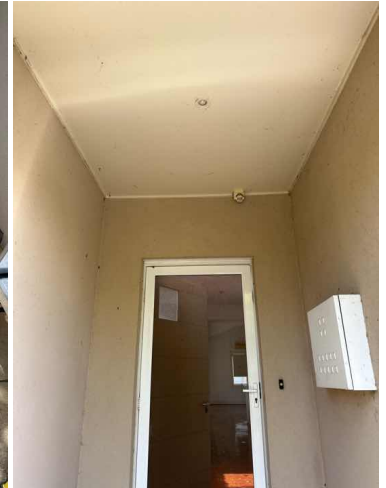
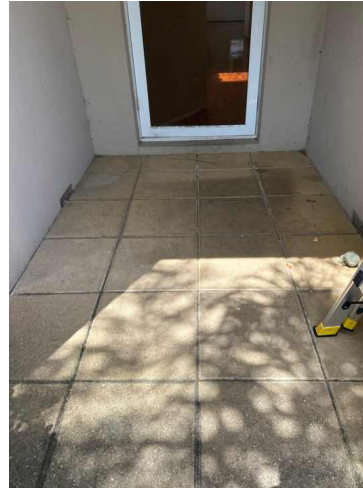
Paint / finish was deteriorated in areas and is in need of maintenance - Sanding back affected areas and painting required.



Entry Porch Area

Overall Condition

Defects exist to an area or component/s requiring assessment by a specialised field. Please read below for details.



Ceiling Lining Condition

Ceiling lining join cracks. Contact a licensed plasterer for repairs.

Ceiling paint flake/deterioration is evident.
Recommendations: General maintenance/painting as required.



GARAGE - CARPORT

Garaging

Type

Attached garage



Areas Restricted

All areas could be inspected.

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Roof And Gutter

Minor flashing lift/detachment - Recommendations: A qualified roofer should be engaged for advice and recommendations. Considered a minor defect but has the potential to become a Major defect if repairs aren't carried out immediately due to water ingress into the roof cavity

Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.

Clear all vegetation and shrubs.



Wall Cladding Findings

General age deterioration. Recommendations: General repairs/maintenance as required.

Mortar deterioration/fretting on lower walls. This can be associated with rising damp. Recommendations: Further investigation required by a qualified damp proofing specialist or qualified and experienced brick layer for advice and recommendations.

Salt residue on lower wall/s visible. Further investigation is required. Recommendations: A qualified damp proof course specialist should be engaged for advice and recommendations prior to purchase. Salt residue can be a rising damp indicator however, there can be other causes such as water ponding against the wall or poor drainage in that particular area. Note: It is imperative that specialist advice be sought to obtain accurate diagnosis of the cause and extent of the damp problem and it is advised that you have assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated. Considered a Major Defect





Door Findings

Garage door lock was damaged - Recommendations:
A locksmith should be engaged for advice and recommendations.

The pedestrian access door has weathered and needs minor maintenance. Recommend engaging carpenter/painter for repairs.



Ceiling Findings

Butt joint separation noted to ceiling lining. Contact a licensed plasterer for repairs.



Internal Wall Findings

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

General fungal decay/rot on bottom plate - Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Moisture/damp detected. It is imperative that specialist advice be sought to obtain accurate diagnosis of the cause and extent of the damp problem and it is advised that you have assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.

Termite damage observed to the wall frame. Have treated by a licensed pest controller and timbers replaced by a carpenter.



Internal Wall Findings(1)

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Cracks noted. Possible causes may be foundation movement. Support structure deflection. Thermal movement and moisture uptake or loss, failure under external loads.

It is in my professional opinion that this is general settlement and caulking of the joint will suffice.



STAIRS- PERGOLA- BALCONIES-DECKS

Decking Findings

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Deck Framework

Timber fungal decay in section of bearers or joists. This is a safety hazard and repair is required.

Recommendations: A qualified carpenter should be engaged to replace all affected timbers.

Moisture damage was observed on deck boards & components. Recommendations: Recommend evaluation and repairs by a qualified carpenter.

Poor support to timber support causing over span due to collapsed pier/s

Contact a licensed bricklayer for repairs



Decking Timber

Decking board surfaces are weathered - Recommendations: We recommend cleaning and maintenance as needed.

Decking Posts

Post base timber fungal decay - The pergola posts had timber fungal decay (rot) on the base and were unstable. Recommendations: This is a safety concern and repairs required by a carpenter. It is preferable to keep posts out of contact with ground soil due to decay and also being conducive to timber pest infestation.



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INTERIORS

Doors

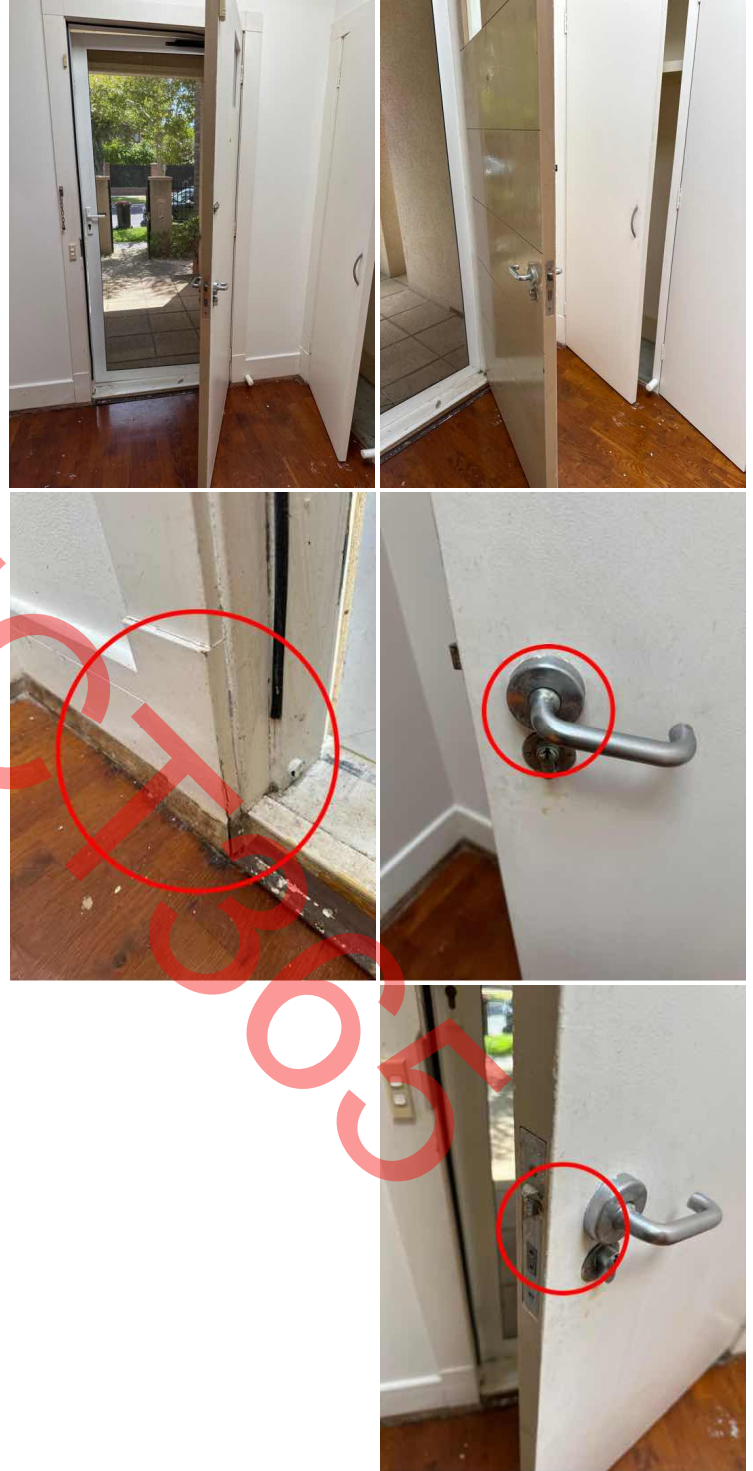
General Disclaimer

Please refer to section 2F of the Terms And Condition section of this report

Front Entry Doors

Damp damage to entry door/frame - It appear water has damaged / penetrated areas of the framing. I am not able to ascertain if this is still occurring and this can only be ascertained during heavy rainfall periods. Recommendations: If penetration occurs a qualified carpenter should be engaged for advice and recommendations re repair/sealing from weathering.

The entry door lock was damaged/deteriorated - Recommendations: A locksmith should be engaged for advice and recommendations.



Other Doors

Rear door / frame deterioration - General age/damage has occurred to door frame, face or components.
Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Damp damage to door/frame. Replacement recommended.



Entry And Hallways

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.

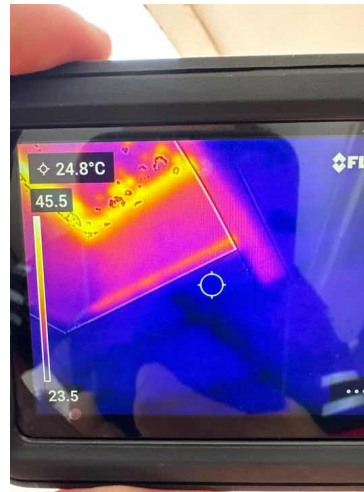
Ceiling

Ceiling damage patching is evident. I recommend you contact a licensed plasterer for repairs

Ceiling sagging - Requires immediate repairs to prevent further collapse - Recommendations: Contact a licensed plasterer for repairs.

Ceiling stains - Moisture readings obtained. In the absence of rain It's difficult to ascertain with certainty the location of the leak. Recommendations: A qualified roofer should be engaged for advice and recommendations. All water damaged plaster should be replaced by a qualified plasterer.



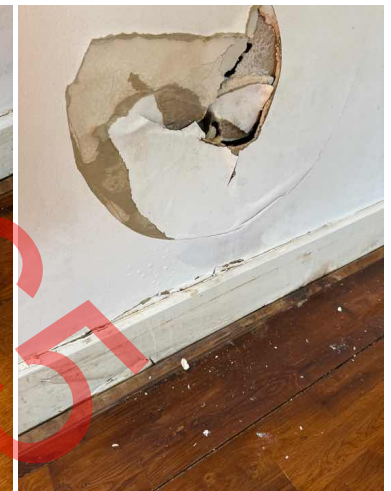


Walls

Impact damage noted. Contact a licensed plasterer for repairs.

Incomplete Patch/Paint repairs noted. Call a licensed painter for repairs

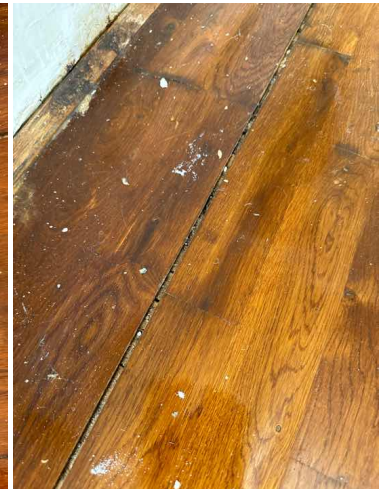
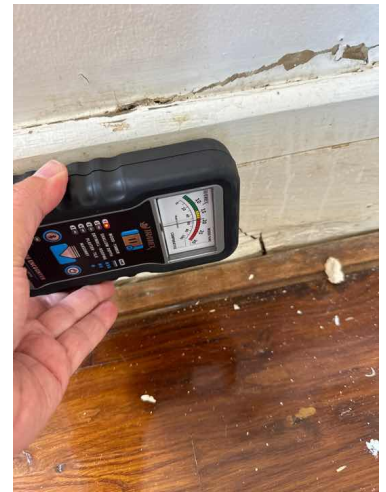
Skirting board damage. Possibly bath/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / replace skirting boards as required.



Flooring

Stained timber flooring - This is normally due some water penetration. This will not be able to be removed and options include replacement, staining all the boards dark or lining same to cover. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Skirt Moisture Damage/Swelling observed.
Replacement recommended.

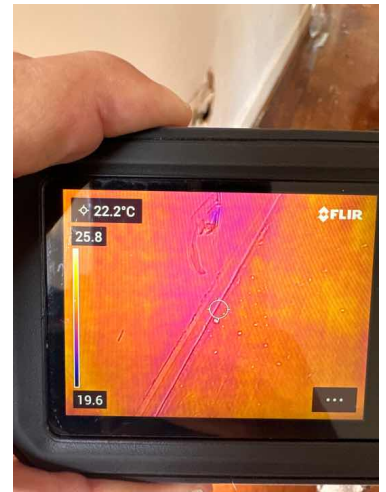


Smoke Alarm

Was a Smoke Alarm Fitted

Yes a smoke alarm was sighted but not tested.

Legislation requires smoke Alarms to be installed. Check with your local council regarding type, locations and other related requirements.



Lounge Room

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.





Ceiling

Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations



Walls

General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

High moisture readings detected. There was no evidence of paint flake , Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.

Skirting board damage/deterioration - Recommendations: A qualified carpenter should be engaged to replace.



Windows

General age wear deterioration - The window frame/ components showed evidence of ageing and wear.
Recommendations: General maintenance works required.

Moisture damage and high moisture readings recorded.
Possible water ingress. Or condensation. Contact a glazier for repairs.

Timber fungal decay on window frames.
Recommendations: A qualified carpenter should be engaged for advice and recommendations.



Combo Living & Meals Area

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.



Ceiling

Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations

Ceiling paint flake/deterioration is evident.
Recommendations: General maintenance / painting as required.



Walls

High moisture readings detected. There was no evidence of paint flake, Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.

Skirting board damage/deterioration -

Recommendations: A qualified carpenter should be engaged to replace.

Wall stains observed - No abnormal moisture readings obtained. Recommendations: These may have been repaired, however, you will need to monitor this area and if further staining or flaking appears contact a licensed plumber for further investigation.



Windows

General age wear deterioration - The window frame/components showed evidence of ageing and wear. Recommendations: General maintenance works required.

Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.

Timber fungal decay on window frames.

Recommendations: A qualified carpenter should be engaged for advice and recommendations.





Flooring

Stained timber flooring - This is normally due some water penetration. This will not be able to be removed and options include replacement, staining all the boards dark or lining same to cover. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

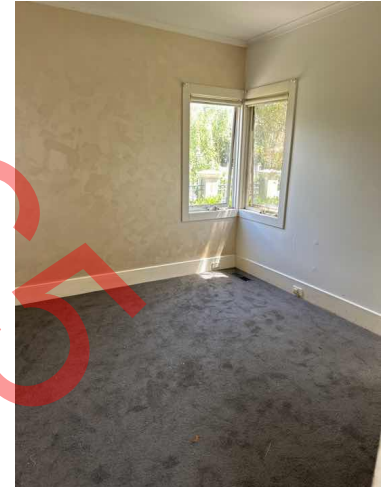




Bedroom 1

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.



Door

Impact damage to door observed. Repairs / Replacement recommended



Ceiling

Mould growth noted . Due to health risks we strongly recommend that a expert in the field of mould treatment be engaged for further advise and recommendations

Ceiling stains - Moisture readings obtained. In the absence of rain It's difficult to ascertain with certainty the location of the leak. Recommendations: A qualified roofer should be engaged for advice and recommendations. All water damaged plaster should be replaced by a qualified plasterer.



Walls

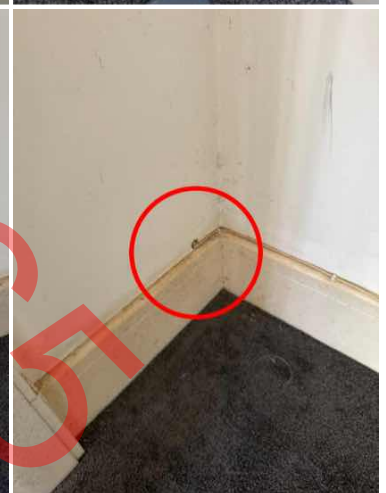
General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Incomplete Patch/Paint repairs noted. Call a licensed painter for repairs

Skirting board damage/deterioration -

Recommendations: A qualified carpenter should be engaged to replace.

Wall stains observed - No abnormal moisture readings obtained. Recommendations: These may have been repaired, however, you will need to monitor this area and if further staining or flaking appears contact a licensed plumber for further investigation.

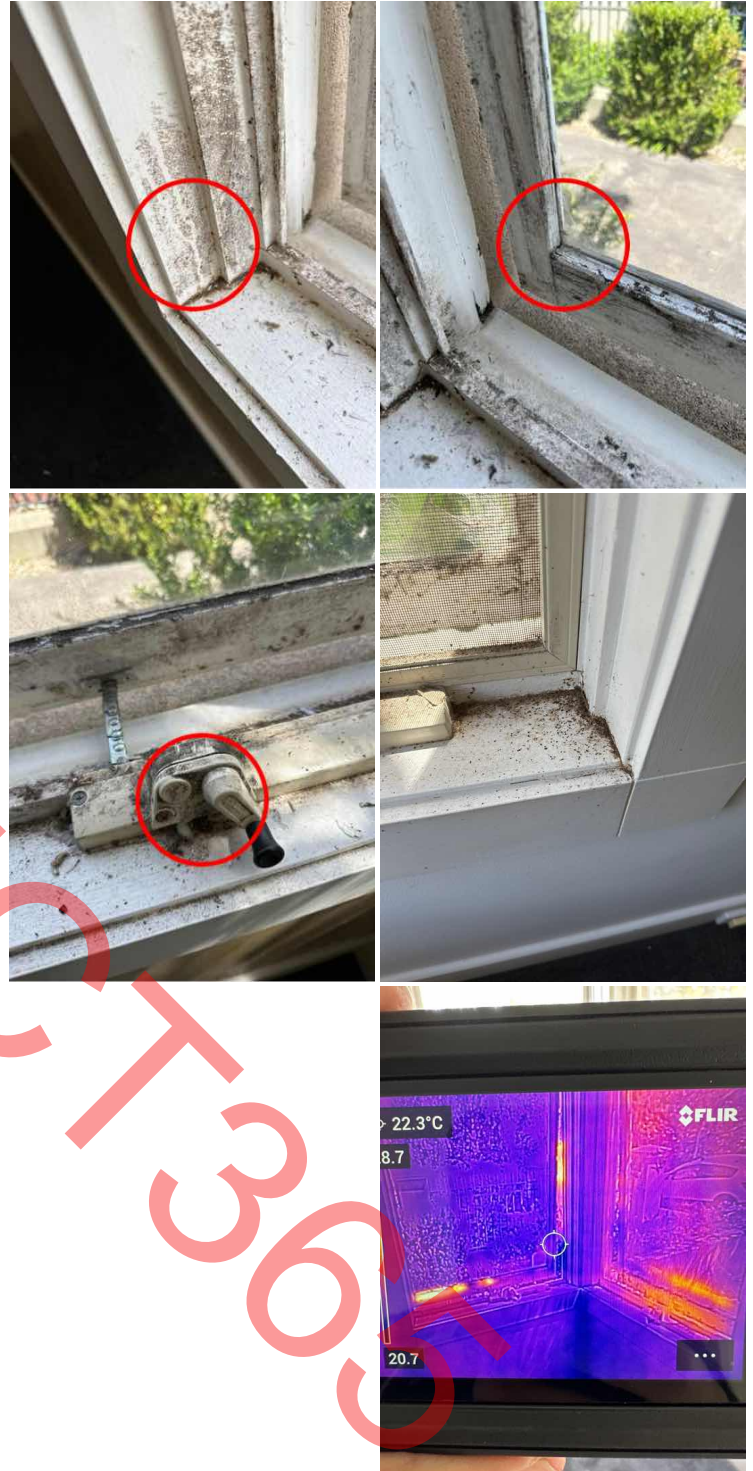


Windows

General age wear deterioration - The window frame/ components showed evidence of ageing and wear.
Recommendations: General maintenance works required.

Moisture damage and high moisture readings recorded.
Possible water ingress. Or condensation. Contact a glazier for repairs.

Timber fungal decay on window frames.
Recommendations: A qualified carpenter should be engaged for advice and recommendations.



Bedroom 2

Overall Condition

On inspection, defects were present that will require further assessing and recommendations by a qualified trades persons, please read below for details.



Door

Impact damage to door observed. Repairs / Replacement recommended



Walls

General ageing and/or denting and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Settlement Cracks Noted. These are typical and generally patch and paint will suffice, however we recommend monitor for 12 months.

High moisture readings detected. There was no evidence of paint flake , Recommendations: Accurate diagnosis of the cause and extent of the damp problem is very important and should be assessed prior to purchasing the dwelling as can be quite costly if a damp proof course has to be reinstated.

High moisture levels detected indication rising damp. Contact a damp proof and ventilation specialist for repairs and advice. We recommend getting a quote prior to a decision to purchase as this can be very expensive to rectify.



Windows

Moisture damage and high moisture readings recorded. Possible water ingress. Or condensation. Contact a glazier for repairs.

Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Movement/settlement/unevenness in frame. Recommendations: A qualified carpenter should be engaged for advice and recommendations.





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BATHROOM(S)

Bathroom 1

Location

Bathroom is located in the hallway.



Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Door

Door / frame deterioration - General age/damage has occurred to door frame, face or components. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Rot observed to the door frame .This may be related to the shower recess due to being near the door. Recommendations: I advise re-sealing the shower recess junctions by a qualified by damp proofing contractor.



Ceiling

Mould spores noted to ceiling. This is a health hazard.
See ventilation section



Walls

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Wall paint flake/deterioration is evident.

Recommendations: General maintenance / painting as required.

Skirting board damage in bathroom - Bathroom/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / repair skirting board as required.

Cracked tile/s noted. A qualified tiler should be engaged for advice and recommendations.

Suspect waterproofing membrane failure. Contact a licensed water proffer for repairs and advice. Note generally re-instating a water proof membrane to a wet area requires the tiles to be removed. This may prove to be costly.





Window

Timber fungal decay on window frames.
Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Mould spores noted to this area. This is a health hazard. See ventilation section



Flooring

Drummy tiles noted. This needs to be repaired at the earliest as this has the potential to lead to many related issues such as damp, water ingress to other areas and cracked tiles. Contact a licensed tiler for repairs and recommendation

Cracked tile/s noted. This can cause extensive floor and floor frame damage and is conducive to termite infestation if water is leaking through the cavity. A qualified tiler should be engaged for advice and recommendations.

Deteriorated grout noted. This should be repaired as this will lead to water ingress under the tiles causing uplifting and possible water penetration.

There are loose/delaminating tiles. As this is a wet area these should be repaired as soon as possible by a licensed tiler and waterproofing specialist.



Important Disclaimer

Refer to Section 7 of the Terms And conditions section of this report

Bathroom 2

Location

This bathroom is located in the master bedroom



Overall Condition

On inspection, defects were present that will require further assessing and recommendations by licensed and qualified trades persons, please read below for details.

Ceiling

Moisture damage was noted to the ceiling lining though no abnormal moisture readings detected at the time of inspection, however this does not mean that you should rule out an active leak. Monitor for leaks and contact a licensed plumber and plasterer for repairs as required.

Mould spores noted to ceiling. This is a health hazard. See ventilation section



Walls

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Skirting board damage in bathroom - Bathroom/shower recess leak related. Recommendations: Have bathroom/shower assessed by a plumber for leaks and maintenance / repair skirting board as required.

Cracked tile/s noted. A qualified tiler should be engaged for advice and recommendations.

Deteriorated grout noted. This should be repaired as this will lead to water ingress under the tiles causing uplifting and possible water penetration.

Streak marks indicating possible leak from roof. This need to be monitored during rain periods. If leakage occurred contact a licensed roofer for repairs.

Suspect waterproofing membrane failure. Contact a licensed water proffer for repairs and advice. Note generally re-instating a water proof membrane to a wet area requires the tiles to be removed. This may prove to be costly.





Window

General age wear deterioration - The window frame/ components showed evidence of ageing and wear. Recommendations: General maintenance works required.

Timber fungal decay on window frames. Recommendations: A qualified carpenter should be engaged for advice and recommendations.

Mould spores noted to this area. This is a health hazard. See ventilation section



KITCHEN & LAUNDRY

Kitchen and Meals Area

Overall Condition

General age/damage has occurred to kitchen and components. Recommendations: A qualified cabinet maker and plumber should be engaged for advice and recommendations regarding renovations



Ceiling

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on ceiling linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

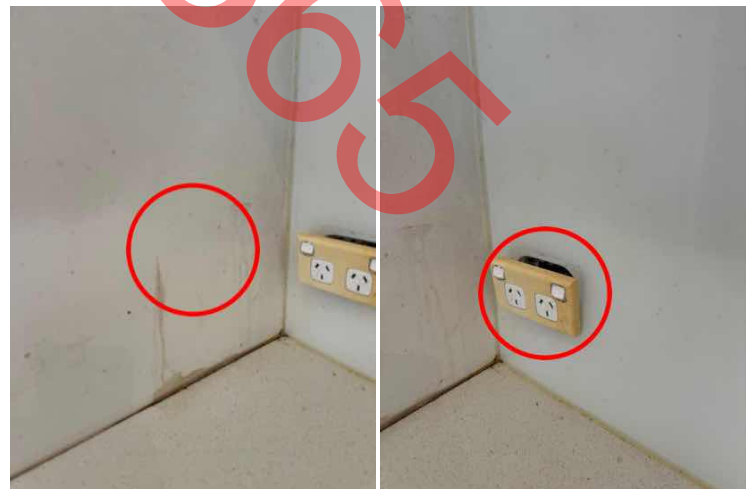
Ceiling stains - No moisture readings obtained from same. Recommendations: These may have been repaired, however, you will need to monitor after a prolonged period of rainfall - If leaking persists, a qualified plumber should be engaged for advice and recommendations. Essentially, it is preferable to have all water damaged plaster replaced by a qualified plasterer due to potential detachment or collapse.



Walls

General ageing and/or denting and/or wear and/or previous wall patching and the like is evident on wall linings - Recommendations: A qualified painter should be engaged to assess and repair as required.

Settlement Cracks Noted . These are typical and generally patch and paint will suffice, however Monitoring these cracks advised for 12 months and if become wider or longer, you will need to contact a structural engineers to assess.



Floor

Decay noted to the timber floor. It is strongly recommended that all affected timbers be replaced. This presents a Safety Hazard. Contact a licensed carpenter for repairs.

Skirting boards are water damaged and should be replaced.



Sink and Taps

Bench top and splash back junction sealing deteriorated - Recommendations: Re-sealing by a plumber or general maintenance contractor is recommended to prevent water access behind the bench.

The tap / tap head is leaking . A qualified plumber should be engaged for repairs.



Cupboards And Bench Tops

Water damage to cabinet observed. Replacement required. Contact a cabinet maker for repairs.





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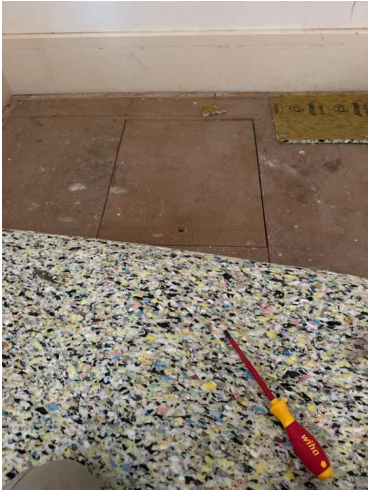
SUBFLOOR

Access and Restrictions

Restricted Areas

The sub floor could not be inspected due to access door being too small to enter. In accordance with AS4349 the minimum requirement is 500 mm x 400mm access manhole. I recommend installing a larger access door to allow for safe and reasonable entry without potential to cause damage or injury.

AREA	ACCESS HOLE	CRAWL SPACE	HEIGHT
Roof Interior	400 mm x 500 mm	Min 600mm x 600mm	From a 3.6m ladder off a level platform and only if it is safe to do so
Roof Exterior	-	-	From a 3.6m ladder off a level platform and only if it is safe to do so
Subfloor	Subject to Inspector's discretion as to safe and reasonable access	Subject to Inspector's discretion as to safe and reasonable access	Subject to Inspector's discretion as to safe and reasonable access



Sub-Floor Observation.

General Condition

Subfloor was not entered and viewed from outside due to potentially toxic mold presenting a health hazard to the inspector.

Yellow mold forms after an extended period of moisture presence in the sub-floor. This could be due to insufficient point of egress for ground water or a potential leak.

Further invasive inspection recommended.

What is yellow mold?

Like all mold, yellow mold is a type of fungus. As a living organism, it feeds on a combination of moisture, oxygen and organic matter—all of which can be found in your home.

Of the thousands of species of mold, many of them can take on a yellow appearance, so keep an eye out and know to suspect mold if you see a yellowish coating on household surfaces, especially where it's damp.

Health risks of yellow mold

As with all mold, various strains of yellow mold can be hazardous to your health. You or your family may experience allergic reactions, illness or you may even be poisoned by toxins created by certain types of mold.

For general information on health risks of mold, see our article on Health Effects of Mold. But for some specific examples of concerns linked to yellow mold in particular, read on...

Is yellow mold dangerous and toxic?

Some species of yellow mold produce poisons called mycotoxins. These poisons can enter the body through breathing in spores from yellow mold in the home, through the skin by touching yellow mold, or otherwise ingesting the toxin. There are many types of mycotoxin, and illnesses resulting from mycotoxin poisoning can vary from acute to chronic, mild to severe.

You might be familiar with “toxic black mold” that is notorious for producing these harmful mycotoxins, but some yellow mold can produce it too. Therefore, if you find yellow mold in your household, it's important to eradicate it right away.



Dampness

Dampness in sub floor soil. Damp sub floor soil should be avoided as it can cause fungal decay, mould and possibly footings problems. Recommendations: A qualified drainage plumber should be engaged for advice and recommendations.

Ventilation

Subfloor ventilation appeared to be limited. This may be conducive to timber decay. Improvement to the ventilation is recommended. Contact a licensed builder for advise and rectification.

Subfloor Cleanliness

The subfloor was reasonably clean at the time of inspection.

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CONCLUSION

Condition Of Inspected Structure

Overall Condition

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The summary lists of Major and Minor defects included this report are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect

The incidence of major and minor defects and overall condition in this residential building as compared with similar buildings is listed below.

Please refer to the **TERMS AND CONDITIONS** section of this report for definition

The incidence of Major Defects

The incidence of major defects in this residential building as compared with similar buildings is considered **HIGH**

The Incidence of Minor Defects

The incidence of minor defects in this residential building as compared with similar buildings is considered **HIGH**

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is **BELOW AVERAGE**

PROPERTY AND INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Direction House Faces

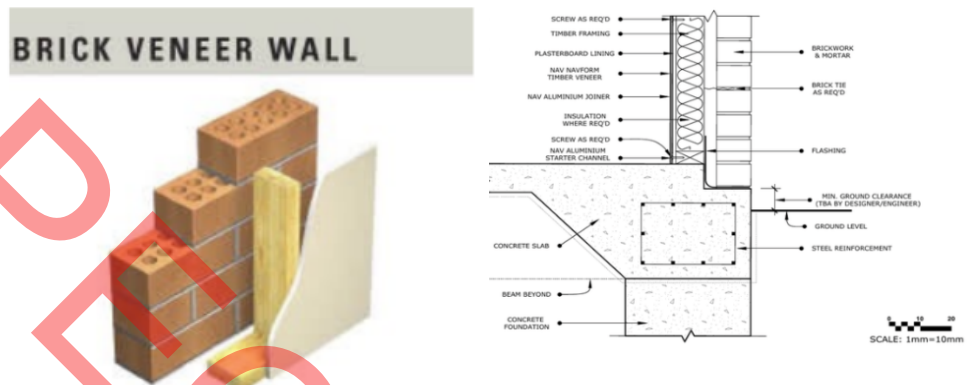
The dwelling faces South West for the purposes of this inspection report.

Building Type

The dwelling is a Residential House.

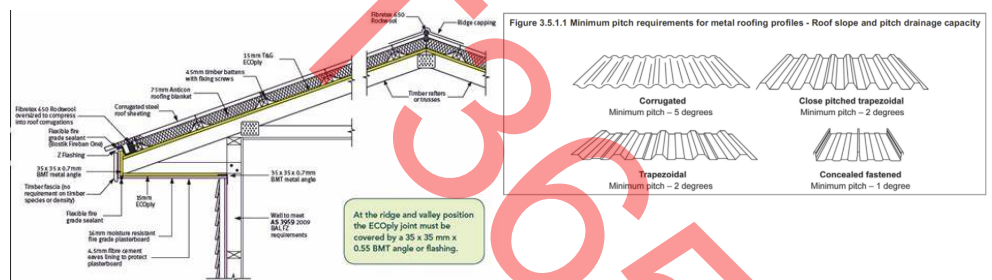
Construction Type

The wall cladding is Brick. With Gypsum internal wall lining. (Brick Veneer)



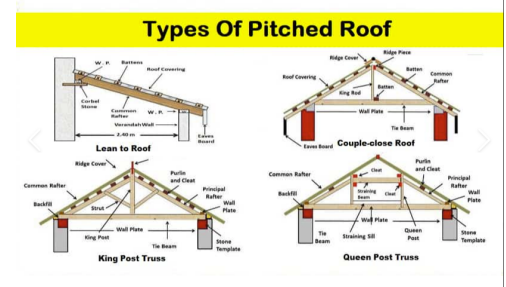
Roof Cladding

The roof is metal



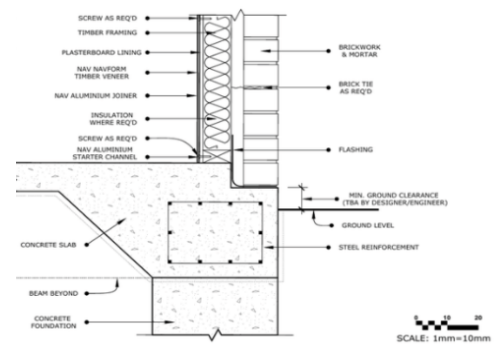
Roof Design

The roof is a Pitched roof design.



Footings Type

Slab On Ground Footing Construction.



Storeys

Single level dwelling

Property Occupied

The property was not occupied.

Property Furnished

The home was Fully Furnished

People Present

The Estate Agent was present.

Utility Status

Water

The water was Connected. All plumbing pipe installation should be assessed by a licensed plumber.

Electricity

Electricity to the dwelling was connected. Note: We do not carry out electrical inspections for wiring or safety. This must be carried out by a licensed electrician and I recommend you have all electrical wiring and components assessed by a licensed electrician.

Gas

The Gas was on at the time of Inspection

Apparent Concealment of possible defects

Were apparent Concealments seen

No apparent concealing of defects visible.

inspection Agreement

Were there any specific requirements to The Pre Inspection Agreement

No specific requirements to the Inspection or Pre inspection Agreement were requested by the client or their representatives.

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TERMS AND CONDITIONS

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of structure in accord with AS 4349.1 appendix "C" or if not a pre-purchase report then the report complies with AS4349.0. This is a general appraisal only and cannot be relied on its own, a further inspection by specialist and qualified trades is strongly recommended.

THIS SECTION IS NOT THE PEST REPORT: This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. Please keep reading further down to see timber pest findings.

DEFINITIONS AND TERMINOLOGY

SERVICEABLE: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

TRADESMAN: A defect or a number of defects were visible that will require assessment by a qualified trades person.

AGE: The component has deterioration due to ageing or lack of upkeep and or maintenance.

MONITOR: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

STRATA: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

HIGH: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

ABOVE AVERAGE: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

AVERAGE: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE: The building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

SIGNIFICANT ITEMS: An item that must be reported in accordance with the scope of the inspection.

MAJOR DEFECT: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

MINOR DEFECT: Any defect other than what is described as a Significant Item or major defect.

SAFETY HAZARD: A defect that presents unsafe conditions and must be reported as a Major defect.

ACCESSIBLE AREA: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

LIMITATION: A factor that prevents full or proper inspection of the building.

IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report. The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of Australian Standard AS 4349 and does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of that particular residential dwelling. The inspection does not cover common property. This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential. Further, this report is not intended to be used as a marketing tool by and real-estate agents and only the person named in the CLIENT INFORMATION section of the report shall this report apply to as it is assumed and agreed that the person who orders the report is indeed the person purchasing the property inspected. Where a report is ordered on behalf of a CLIENT it is assumed that the terms and condition and Pre Inspection Agreement have been fully explained to the CLIENT by the person or company ordering the report.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice. Please refer to Cracking Of Building Elements in section 2G of these Terms And Condition

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Limitations: This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access: Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.1 or AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

1) NOT A CERTIFICATE OF COMPLIANCE: This report is not an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) VISUAL INSPECTION: This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2A) Please refer to each individual area regarding sections that were incapable or being inspected. Please acknowledge the following. Where a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to - storage, furniture, beds, personal belongings in cupboards and/or wardrobes, the 2nd storey roofing, gutters, fascia, flashings and the like, low clearance in sub floor or roof void areas, ducts and deep insulation restricting access in roof voids, sub floor restrictions including plumbing, ducts, low clearance, no access doors or access doors too small and the like) then it follows that defects, timber pest activity and/or damage may exist in these areas. To adequately inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. This will obviously be difficult to carry out due to time restrictions and permission would need to be obtained from the property owner.

This Firm DOES NOT GUARANTEE IN ANY WAY that there ARE OR ARE NOT any defects, termite damage or live termites in any areas not inspected. To obtain a full understanding of the report findings, it is essential you read the entire inspection report, including the information sections at the end of this report and I encourage you to call me if you have any queries at all before purchasing the inspected dwelling.

2B) Entering attics or roof voids that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2C) The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so. Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection, which can result in hidden defects going undetected. The overall condition of the roofing and its components is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We offer no guarantee that the roof cladding or roof components such as flashing will not leak in the future.

2D) Limitations to the exterior inspection this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. Please note. If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. We strongly recommend you contact a practicing structural engineer for further advice.

2E) Timber framed windows can bind or stick. This can be seasonal due to the fluctuation in moisture content in timber. If binding or sticking continues a carpenter may require adjustments. Binding windows is not normally a major defect, however in some circumstances binding windows and doors can be directly related to some differential footings settlement. If any timber fungal decay on frames or deteriorated putty seals is noted, the consultant will not attempt to operate windows due to potential damage. Windows that are sticking, binding or paint stuck will also not be forced open. Water leaks to windows and surrounds cannot be determined in the absence of rain.

2F) Internal Inspections. Carpets and or other floor coverings, cupboards/cabinets, joinery, finishes and fittings, normally obstruct inspection to the upper-side of flooring. Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained. The condition of walls behind wall coverings, panelling and furnishings cannot be inspected or reported on. Only the general condition of visible areas is included in this inspection. Where fitted. Wood burning and other forms of fireboxes are outside the scope of this inspection. We recommend you have these tested prior to purchase for peace of mind.

2G) Cracking of Building Elements: Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

Information required to determine the consequences of a crack:

Nature of the foundation material on which the building is resting

- a) The design of the footings
- b) The site landscape and topography
- c) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories:

Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired, 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

IMPORTANT: Regardless of location or size If cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2H) Important Note: Where any elevated structure (deck, balcony, veranda etc.) is present, and this elevated structure is designed to accommodate people, you must have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. A qualified engineer can only do this. For the purpose of this report, the structure includes elevated decks; verandas, pergolas, balconies, handrails, stairs and children's play areas. Where any structural component is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

3) CONCEALED DEFECTS: This report does not and cannot make comment upon: Defects that may have been concealed the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects e.g. In the case of shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

4) NO GUARANTEE: Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) SWIMMING POOLS: Compliance of Swimming pools/spas are not part of the standard building report under as4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

6) SURFACE WATER AND DRAINAGE: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection. It is recommended that a smoke test be obtained to determine any illegal connections, blocked or broken drains.

7) SHOWER RECESSES: All Shower areas are visually checked for leakage, but leaks often do not show except when the shower is in actual long-term use. Determining whether shower areas, bath/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future. Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks as showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

8) GLASS CAUTION: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) STAIRS AND BALUSTRADES: Specifications have been laid down by the National Construction Code Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) RETAINING WALLS: Where retaining walls are more than 700mm high these wall/s should have been installed with engineering design and supervision. Walls found on the site were not assessed and the performance of these walls is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) ROOMS BELOW GROUND LEVEL: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make his or her own enquiries with the Council to ascertain if approval was given.

12) ASBESTOS DISCLAIMER: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) MOULD (mildew and non-wood decay fungi) disclaimer: Mildew and non-wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) MAGNESITE DISCLAIMER: No inspection for Magnesite flooring was carried out at the property and no report on the presence or absence of Magnesite flooring is provided. You should ask the owner whether Magnesite flooring is present and/or seek advice from a structural engineer.

15) ESTIMATING DISCLAIMER: No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from licensed tradesman prior to a decision to purchase.

16) DISCLAIMER OF LIABILITY: No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report) Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT"

17) DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

18) COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

OTHER RECOMMENDED INSPECTIONS

Electrical installation: All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The inspection of any electrical item is outside the scope of this report.

Plumbing: All plumbing including septic tanks need to be inspected and reported on by a plumber.

Hot water service: Hot water services need to be checked by a plumber and/or electrician.

Gas: All gas services need to be inspected and reported on by a gas plumber.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician.

Smoke Alarm: Australian standard AS3786 advises that smoke alarms are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or to install smoke alarms.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

TIMBER PEST INSPECTION

Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report.

Please ensure that you read all sections of the report as well as the additional information at the rear of Please note that this inspection and report was a Visual only inspection to the readily accessible areas of the property as defined within the terms and conditions of this report. As this is a visual inspection only there may be damage to structural timbers within the building from termite infestation which is concealed by wall/s and or ceiling linings, and that such damage has neither been inspected for nor reported herein. Please ensure that you read all sections of the report as well as the additional information at the rear of the report and understand the limitations and the special recommendations for this construction style. If there is something you do not understand or require further clarification. Please contact the Inspector. **IMPORTANT: The Client acknowledges that, unless stated otherwise, the Client, as a matter of urgency should implement any recommendation or advice given in this report. Please contact the inspector If there is something you do not understand or require further clarification on.**

INSPECT365

TIMBER PEST FINDINGS

3. Subterranean Termites

Were Active or Live Termites Visible

No. Of the visible and accessible areas inspected, there were no visible termites found at the time of the inspection.

3.1 Termite Nests

Was a Termite Nest Found

No termite nests found at time of inspection.

3.2 Subterranean Termite Damage or workings

Any workings or damage found

Yes, termite damage was found in the following

To garage timber/s



Please Note

Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

Was any evidence of timber damage visible

Yes

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

If damage is visible does it present a safety risk

No

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

VERY Important:

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realize that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilizing an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with "Australian Standard 3660" to be carried out immediately to reduce the risk of further attack.

General remarks: A more thorough INVASIVE INSPECTION is available (refer to section 9). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

3.3 Any Evidence of a Previous Termite Treatment

Any Evidence of previous Treatments Found

No, there was no visible evidence or a previous termite treatment was located at the property.

Warning

Warning: If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc. are removed. Normally if a termite treatment has been carried out then a durable notice should be located in the meter box indicating the type of termite shield system, treated zone or combination has been installed.

3.4 Durable Notice

Was a Treatment Notice Found

No, a durable notice was not found during the inspection.

IT IS STRONGLY RECOMMENDED that a treatment in Accordance with Australian Standard 3660 be carried out and a Certificate of Warranty Placed in the Electrical Meter Box.

This protects you against the possibility of termite infestation or attack. If you do not have this treatment and compliance, any future Insurance claims will be rejected in the event of any wood or structural damage as a result of timber Pest attack.

If you are successful with the purchase of this home, please contact our office and we can arrange for one of our Registered Pest Control Technicians to complete this service at a discounted rate.

This treatment ideally should be carried out before any furniture or people/pets move in so all areas can be accessed.

TERMITE MANAGEMENT NOTICE CHEMICAL AND / OR PHYSICAL BARRIER	
This building has been treated with an approved Termite Management system to deter subterranean termite attack in accordance with AS3660.1 (Part 1 - New Buildings) and AS3660.2 (Part 2 - In and Around Existing Buildings and Structures).	
DATE APPLIED: ____/____/____	
Method Used: <input type="checkbox"/> Chemical Barrier <input type="checkbox"/> Physical Barrier	
Chemical Used: _____	
Physical Barrier Used: _____	
Area Treated	Life Expectancy (as per label)
Under slab	Years
Perimeter	Years
Sub Floor	Years
Other	Years
Caution: (Chemical Barrier) Disturbance or covering of the treated soil in contact with the building or structural attachment may reduce the effectiveness of the treatment and could increase the risk of termite damage.	
AVOID CONTACT WITH TREATED SOIL	
IMPORTANT: The building must be inspected for termite activity at regular intervals not exceeding 12 months or every _____ months from the installation date. The type of inspection will be dependent upon the method used and the manufacturer's recommendation for this treatment is _____	
Treated by: _____	Phone No: _____



Please Note

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accord with Australian Standard 3660 be carried out to reduce the risk of further attack.

3.5 Timber Fungal Decay - Rot

Evidence of Wood Decay Fungi -Rot

Yes, in the following areas ,

Fascia and / or Barge board

Timber Fence ,

Window frame/s ,

Door frames

Deck framing timbers,

Garden timbers

Extent of Damage Caused by Rot

If any evidence of fungal decay or damage is reported you should consult a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations).

High Damage

Does the damage present a Major Safety Hazard

No

Important Note: Where a Major Safety Hazard is identified above, it must be attended to and/or rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement.

3.6 Chemical Delignification

Was there any visible evidence of chemical delignification?

No evidence of chemical delignification was seen at the time of inspection.

3.7 Borer Findings

Borer Information

Borer information: *Lyctus brunneus* (powder post beetle) is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

Anobium punctatum (furniture beetle) and *calymmaderus incisus* (queensland pine beetle) must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain and the treatment may need to be carried out each year for up to three years.

Was Visible Evidence of Borer Found

No

Please Note

If any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (see terms & limitations). Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

3.8 Borer Recommendations

Borer Recommendations

No treatment recommended at this stage.

Note: Only *lyctus* borer/powder post borer, pin-hole borer and furniture beetle presence is inspected

CONDUCTIVE CONDITIONS

4. Conductive Conditions to Timber Pests

Water leaks

There was water leakage detected during the inspection that appeared to be emanating from the bathroom/shower recess. Recommendations: Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

There was water leakage detected during the inspection from some down pipe joins. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

There was water leakage detected during the inspection from some gutter joins. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Though no immediate leak detected, the subfloor was very wet and requires further investigation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Rust in roof lining which will leak into the roof void area creating damp and rot. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Roof leak. This is a conducive condition to a termite infestation due to damp conditions. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Please Note

Water leaks, especially in or into the sub-floor or against the external walls ie: Leaking taps, water tanks or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other wet areas also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay. If any leaks were reported then you must have a plumber or other building expert to determine the full extent of damage and the estimated cost of repairs

4.1 Hot Water Unit Overflow

Please Note

Hot water services and air conditioning units which release water alongside or near to building walls need to be connected to a drain (if this is not possible then their water outlet needs to be piped several meters away from the building) as the resulting wet area is highly conducive to termites.

Water tanks should not leak and the overflow should be adequately connected to storm water. A plumber should be engaged if the water tank overflow is not connected to storm water.

Was the overflow sufficiently drained

Yes



4.2 Moisture Readings

Was there any Excessive Moisture Readings

At the time of the inspection moisture readings were high.

Please Note

High moisture readings can be caused by any one of the following: Poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs prior to contracts becoming binding.

Equipment Of Moisture detection used

Tramex Encounter Moisture Meter

If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs prior to contracts becoming binding.

4.3 Sub Floor Ventilation

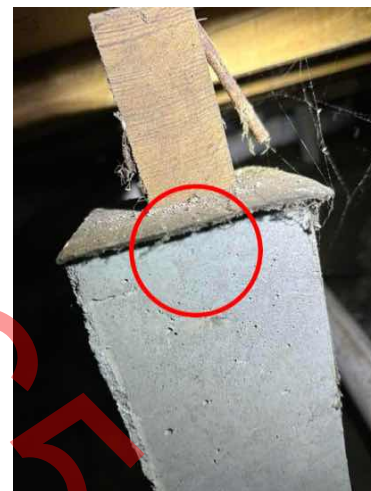
Sub Floor Ventilation is Generally

The ventilation is not adequate in the subfloor. This needs to be improved by either clearing/exposing all air vents to enable sufficient airflow or potentially installing further vents in the external walls. This lack of good ventilation is a conducive condition for termites. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

5. Ant Capping and Termite Shields

The Termite Shields Appear To Be

Adequate.



Please Note

Termite shields (Ant Caps) should be in good order and condition so termite workings are exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation. If considered inadequate a builder or other building expert should be consulted. Other physical shield systems are not visible to inspection and no comment is made on such systems.

6. Areas Found Conducive To Termite Infestation

Conductive Areas Requiring Amendments

Leaking down pipe joins. This causes moisture and excess moisture is conducive to termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Damp sub floor soil. This provides conducive conditions for termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

No access under decking. A full inspection must be carried out of the decking framing for any potential termite damage and/or infestation.

Timber framing in contact with ground in sub floor due finished ground levels high and being built close to ground. This provides conducive and concealed conditions and concealed entry for termite infestation.

Timber fungal decay located around the home provides conducive conditions for termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Gutter joins leaking. This causes moisture and excess moisture is conducive to termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Leaking bathroom into subfloor timbers. This causes moisture and excess moisture is conducive to termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

Poor drainage. There is evidence of water ponding against walls. This provides conducive conditions for termite infestation. Consult an appropriate trade for a scope of works and cost of repairs for the issue prior to contracts becoming binding.

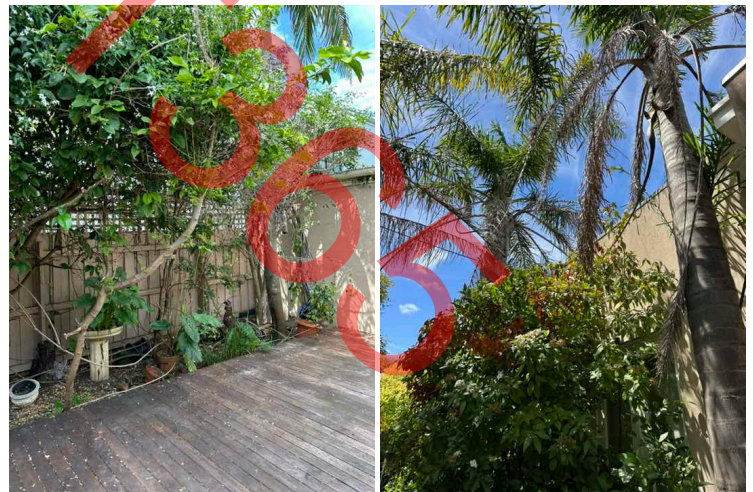
Timber debris in contact with ground in sub floor. This provides conducive and concealed conditions for termite infestation.

Tree/leafy environment: The house is located in a suburb which is high risk due to the environmental surrounds. It is close to large trees and parkland. A termite management plan/treatment is strongly advised.

7. Environmental Conditions

Are Trees Close to Home

Trees are in close proximity to the dwelling and within the termite foraging area. These are a favorable influence for termite infestation and i recommend you liaise with the neighbours to have the trees regularly checked and if in your site, organise regular inspections for termite infestation.





8. Thermal Imaging Results

Observation

No thermal anomalies were detected.

An infrared thermal imager was utilised during the inspection.

No thermal anomalies were detected during this inspection, however various factors must be taken into effect which may hamper or impede the reading obtainable by the imager. These factors include obstructions, ambient temperature, wall material and thickness etc. If any surface is restricted visually or otherwise, a proper thermal reading is not possible and is not within the scope of this inspection. Any findings or otherwise is reported on at the time of the inspection only.

OVERALL ASSESSMENT

9. Overall Assessment of Property

Please Note

Where or if there has been evidence of live termites or termite damage or termite workings (mudding) found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high.

Degree of Risk of Termite Infestation is

The overall degree of risk of timber pest infestation to this property appears to be extremely high - See notes below.

The overall degree of risk of timber pest infestation is a subjective assessment by the inspector at the time of the inspection taking into account many factors which include but are in no way limited to location and proximity to bush land and trees, the presence of evidence of timber pest damage or activity close to the inspected structure or within the inspected structure, conducive conditions that raise the potential of timber pest attack such as timbers in contact with soil, inaccessible areas, slab on ground construction etc, or other factors that in the inspectors opinion, raise the risk of future timber pest attack. It should be noted that even if a risk factor is high, this is not meant to deter a purchaser from purchasing the property, it is just to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions or frequency of inspections should be headed by any property owner. Often, by reducing or eliminating some of the conducive conditions, the risk factor may be lowered.

10. Subterranean Termite Treatment Recommendation

Treatment Recommendation

A management program in accord with AS 3660 to protect against subterranean termites is considered to be: **ESSENTIAL**

No, a durable notice was not found during the inspection.

IT IS STRONGLY RECOMMENDED that a treatment in Accordance with Australian Standard 3660 be carried out and a Certificate of Warranty Placed in the Electrical Meter Box.

This protects you for 7 years against the possibility of termite infestation or attack. If you do not have this treatment and compliance, any future Insurance claims will be rejected in the future in the event of any wood damage or timber Pest attack.

If you are successful with the purchase of this home, please contact our office and we can arrange for one of our Registered Pest Control Technicians to complete this service at a discounted rate.

This treatment ideally should be carried out before any furniture or people/pets move in so all areas can be accessed.

TERMITE MANAGEMENT NOTICE	
CHEMICAL AND / OR PHYSICAL BARRIER	
This building has been treated with an approved Termite Management system to deter subterranean termite attack in accordance with AS3660.1 (Part 1 - New Buildings) and AS3660.2 (Part 2 - In and Around Existing Buildings and Structures).	
DATE APPLIED: ____/____/____	
Method Used: <input type="checkbox"/> Chemical Barrier <input type="checkbox"/> Physical Barrier	
Chemical Used: _____	
Physical Barrier Used: _____	
Area Treated	Life Expectancy (as per label)
Under slab	Years
Perimeter	Years
Sub Floor	Years
Other	Years
Caution: (Chemical Barrier) Disturbance or covering of the treated soil in contact with the building or structural attachment may reduce the effectiveness of the treatment and could increase the risk of termite damage.	
IMPORTANT: AVOID CONTACT WITH TREATED SOIL. The building must be inspected for termite activity at intervals not exceeding 12 months or every ____ months from the installation date. The type of inspection will be dependent upon the method used and the manufacturer's recommendation for this treatment is _____.	
Treated by: _____	Phone No: _____

11. Future Inspections

Future Inspections

Future inspections: As 3660 Recommends that inspections be carried out at intervals no greater than annually and where timber pest “pressure” is greater, this interval should be shortened. Inspections will not stop timber pest infestations; however, the damage which may be caused will be reduced when the infestation is found at an early stage. Due to the degree of risk of subterranean termite infestation noted above and all other findings of this report, we strongly recommend that a full inspection and written report in accord with as 4349.3 Or as 3660.

Recommended Inspection Intervals

12 Months.

12. General Remarks

Terms And Conditions

IMPORTANT INFORMATION

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

1.0 DEFINITIONS: For the purpose of this inspection, the definitions below apply.

1.1 Active - The presence of live timber pests at the time of inspection.

1.2 Inactive - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

1.3 Minor - Damage that is superficial and does not appear to require any timber replacement or repairs to be carried out.

1.4 Moderate - Damage that is more than surface damage and it is likely to necessitate timber repairs with possible replacement (if more economical or for aesthetic reasons) to be carried out.

1.5 Severe - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. Usually timbers will have to be repaired and/or replaced.

1.6 Timber Damage - It is essential that any timber damage noted in the report be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

2.0 REASONABLE ACCESS: Only areas where reasonable access was available were inspected. The Australian Standard AS3660 refers to AS4349.3-2010 which defines reasonable access. Access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

ROOF SPACE - the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl.

SUBFLOOR - the dimensions of the access hole must be at least 500mm x 400mm and, there is at least 400mm of space to crawl beneath the lowest part of any bearer and at least 500mm below any concrete member.

ROOF EXTERIOR - must be accessible by a 3.6M ladder placed safely on the ground.

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps, or moving heavy furniture or stored goods.

3.0 A MORE INVASIVE AND PHYSICAL INSPECTION IS AVAILABLE AND RECOMMENDED: This inspection was a visual inspection only. As detailed above, there are many limitations to this visual inspection. With the written permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting of insulation, moving stored items, furniture or foliage during the inspection. We will physically touch, tap, test and where necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner and must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price available on request.

4.0 CONCRETE SLAB HOMES (Part or full slab) Homes constructed on concrete slabs pose special problems with respect to detecting termite attack. If the edge of the slab is concealed by garden beds, lawns, paths, pavers or any other obstructions then it is possible for termites to effect concealed entry into the property. They can then cause extensive damage to concealed framing timbers before being detected. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings or other obstructions. Only when the termites attack timbers in the roof void, which may be concealed by insulation, or some other visible timbers, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers (if present) may be extensively damaged. With a concrete slab home (part or full) it is imperative that you expose the edge of the slab. This may involve the excavation of soil or the complete removal of garden beds, paths, pavers or other features which concealed the slab edge. It is recommended that at least 75 millimetres of the slab edge above ground level remain exposed at all times to facilitate the detection of termite entry. Weep holes must also be kept free of obstructions at all times.

5.0 EVIDENCE OF TERMITE DAMAGE: Where evidence of termite damage was noted in any structure or on the grounds of the property, you must understand that termite damage or activity may exist in concealed areas. Termites are secretive by nature and they will often temporarily desert their workings to later return. As damage or activity may exist in concealed or inaccessible areas, a further INVASIVE INSPECTION is strongly recommended, see Section 3.0 - Further Invasive Inspections. Additionally, regular inspections are strongly recommended at intervals not exceeding 12 monthly and more frequently if recommended.

6.0 SUBTERRANEAN TERMITES: No Property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forests shows 1 in every 4 homes are attacked by termites at some stage in their life. Australia's subterranean termite species are the most destructive timber pests in the world.

How termites attack your home! The most destructive species live in large underground nests containing several hundred thousand timber-destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single termite colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres or more to enter your home. Concrete slabs do not act as a barrier as termites can penetrate cracks through the slab or over the slab edge and once in contact with the timber they can excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and can be costly to treat.

7.0 BORERS OF DRY SEASONED TIMBERS: Borers are the larval stage of various species of beetle. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae that bore through the timber. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle that cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes that their presence can be detected. Refer to this report (if applicable) for further information.

Anobium punctatum borer (furniture beetle). Commonly attack softwood flooring timbers, shelving timbers and timber panelling. They have the potential to cause severe timber damage if left untreated for many years. Attack by this beetle is usually observed in timbers that have been in service for 10 to 20 years or more.

Lyctus brunneus borer (powder post beetle). These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that the structural timbers contain no more than 25% Lyctus susceptible sapwood, these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved or required.

Queensland Pine Beetle borer. These borers commonly attack flooring and wall timbers. It is not possible to determine with absolute certainty whether activity exists without destruction of the timbers. We therefore recommend that it would be prudent to assume that current borer activity is present unless written evidence is available to indicate that the property has been recently treated in respect to this borer. Replacement of affected timbers is always preferred as a long term solution since, in the event of selling the property in the future it is probable that an Inspector will report the borers as active (see above). A chemical treatment to control re-infestation may be considered a less effective and lower cost option. This treatment is applied to the underside of all soft pine flooring timbers and to other affected timbers as required.

Non-Commercial borers Are those borers that attack dead trees, logs and tree stumps. These borers are generally not considered to be a threat to timber in service (timber used in the buildings). No treatment is necessary for this species.

8.0 FUNGAL DECAY (WOOD ROT) Fungal decay is more commonly known as wood rot. Many problems with timber pests are related to excessive moisture because Termites and wood rot both require heat and moisture to survive. Small sections of minor decay can often be removed and the resulting hole filled with "Builders filler".

Areas of moderate decay will require sections of timber to be replaced. Where there is severe fungal decay the entire affected timber member should be replaced, preferably with treated hardwood.

Oregon timber is highly susceptible to Fungal Decay and should be kept well painted. Oregon was once used extensively to construct pergolas and carports and the like. The use of Oregon in external applications is generally considered to be unsuitable.

9.0 MOULD: Mildew and non-wood decay fungi is commonly known as Mould and is not considered to be a timber pest. However, Mould and their spores may cause health and allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.

If Mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your Local Council, State or Commonwealth Health Department or a qualified expert such as an Industry Hygienist.

10.0 COMPLAINTS PROCEDURE: In the event of a dispute or a claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of the Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) days of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event that You do not fully comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

CONTACT THE INSPECTOR: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults, timber pest activity and damage or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by:

State License Number: DB-U Builder 20 Years+, Accredited Timber Pest Inspector

Contact the Inspector on:

For and on Behalf of: Inspect365

