

Post Completion Defect Inspection Report

Provided By



Inspect365

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Report Information

Client Information

Client Name Sample Report
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Inspection Information

Report/Agreement # 090124101441
Inspection Date: 09 Jan 2024
Inspection Time: 10:14 am

Practical Completion Inspection

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.0-2007. Inspection of Buildings Part 0: General Requirerments.

Only the individual named at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Changes to the Inspection Agreement: Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the Builder.

Paint Defects

The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

Paintwork is defective if the application has blemishes such as

paint runs,

paint sags,

wrinkling,

dust,

bare or starved painted areas,

colour variations,

surface cracks,

irregular and coarse brush marks,

sanding marks,

blistering,

non-uniformity of gloss level

other irregularities in the surface

That are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing

and other finished edges.

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Any roof which cannot be accessed externally will be thoroughly checked from the inside for moisture ingress using our thermal imaging and moisture meter equipment.

Roof Void & Subfloor

Whilst we will endeavour to do our best to enter the roof void & subfloor. The minimum requirement under legislation is the roof void must have a manhole size 350x450mm (minimum) and the sub floor height is 400mm (minimum) to safely enter. The areas which cannot be accessed will be checked as thoroughly as possible using our thermal imaging equipment and moisture meters.

Please read the entire report. Refer to the terms & conditions as they form part of the report.

We were requested by the client/s to attend their property and carry out a re-inspection on the items listed in our previously supplied Audit Report and to thereafter prepare this updated report identifying any items that still breach the implied warranties within section 8 of the Domestic Building Contracts Act 1995 (DBCA)

None of the rectification methods, procedures or products within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the NCC/BCA. Therefore, depending on the type of further works required, the builder may need to obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be contractually necessary.

This report must be read by the builder in addition to any other list or correspondence provided by the owner/s.

Why Your Builder Has a Contractual Obligations To Rectify The Items Identified Within This Report

Your builder must satisfy you as the Owner and the party with whom they have entered into a legally binding Building Contract with, that all of the items that we have identified on your behalf and detailed within the following Schedule of Building Defects for you, have been fully rectified and/or otherwise justified as complying with the requirements of the National Construction Code/Building Code of Australia (NCC/BCA), the relevant Australian Standards, your plans, both engineering and architectural, your specification and to within the limits of the Victorian Building Authority's Guide to Standards & Tolerances, for them to meet their obligations under their Building Contract and the Domestic Building Contracts Act, for which they rely on for you as the Owner to pay them their contract price.

Via both your Building Contract and the Domestic Building Contracts Act your builder gives you a number of warranties (promises), which in part state-

- i. the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract; and
- ii. the builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.
- iii. the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise fully/further justify all of the identified items that breach any of your plans, your specification, the NCC/BCA and all of the Australian Standards adopted by being referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill. Further, in determining if rectification of any other defect is required, any item that is not covered by the above documents should also be addressed if its breach is covered by the Victorian Building Authority's Guide to Standards & Tolerances or any other Australian Standards guide.

Warranties and Defects

The builder should generally provide the following to the owner or owner's agent at the handover stage.

- Final Certification/Occupation Certificate from Certifier/Council.
- Gas/Plumbing compliance certificate/s
- Electrical/Smoke Alarms compliance certificate/s

- Practical Completion certificate which includes a Defects Document with reference to the Defects Liability and Warranty Period including expiry date.
- Home Warranty Insurance certificate
- Certification and relevant information regarding Termite Management System
- User Manuals for all appliances and installations
- Remote controls for garage
- Keys to the property

Defect Rectification

The Builder prior to Handover or settlement, or as agreed by the owner and builder should rectify any items/defects mentioned in the Handover Report.

If you are required to sign a Practical Completion Certificate, or an authority to release the final payment you should ensure that any defects/items mentioned in the Report are noted 'to be rectified by the builder' on a Defects Document, which should be signed and dated by the builder and the owner, or owners agent. Note: If there are any items that the builder does not agree with, these should also be noted on the defects document. The Practical Completion document should mention the provision of a Statutory Defects Period. The Defects Liability Period generally commences from the date the Practical Completion Certificate is signed. You should confirm the period and expiry date with the builder.

There should be provision in your contract for a final inspection by the owner prior to settlement. A final inspection ensures any defects and/or incomplete work have been satisfactorily completed, and any minor defects and/or incomplete work that may still exist at handover/settlement are noted, prior to final payment. You should check the Building Contract in relation to any Practical Completion/Handover requirements.

Defect Liability Period

As a general rule the building is covered for Structural and other defects for a specific period, we recommend you refer to your building contract to confirm the warranty period and check with your builder regarding the provision of any warranties that may be applicable.

We recommend you contact us to conduct a comprehensive Warranty Defects Report for you to provide to the builder. This needs to be done before the expiration of the warranty period.

Paint defects

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

Paintwork is defective if the application has blemishes such as

paint runs,

paint sags,

wrinkling,

dust,

bare or starved painted areas,

colour variations,
 surface cracks,
 irregular and coarse brush marks,
 sanding marks,
 blistering,
 non-uniformity of gloss level
 other irregularities in the surface

That are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

Warranties under building law

Builders and tradespeople must honour the implied warranties in the Domestic Building Contracts Act, which require that they:

- Carry out the work in a proper and workmanlike manner, in accordance with the plans and specifications set out in the contract.
- ensure all materials supplied are good and suitable for the purpose and are new, unless otherwise stated in the contract.
- Carry out the work in accordance with all laws and legal requirements
- Carry out the work with reasonable care and skill and complete works by the date (or within the period) specified by the contract.
- Ensure new homes, extensions, renovations, repairs and kit homes (or similar) are suitable for occupation when completed.
- Ensure other types of work and the material used are reasonably fit for the intended purpose.

Additional Note

We strongly recommend you arrange insurance on the property from the date of handover, as the builder's insurance will not cover you for any loss or damage after that time.

Re-Inspections

Any request for re-inspections will be charged at full cost. It is the responsibility of your builder to supply photographic evidence and certification of repairs.

Inspection Terms

We were requested by the client/s to attend their property and carry out a re-inspection on the items listed in our previously supplied Audit Report and to thereafter prepare this updated report identifying any items that still breach the implied warranties within section 8 of the Domestic Building Contracts Act 1995 (DBCA)

None of the rectification methods, procedures or products within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the NCC/BCA. Therefore, depending on the type of further works required, the builder may need to obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be contractually necessary.

This report must be read by the builder in addition to any other list or correspondence provided by the owner/s.

Why Your Builder Has a Contractual Obligations To Rectify The Items Identified Within This Report

Your builder must satisfy you as the Owner and the party with whom they have entered into a legally binding Building Contract with, that all of the items that we have identified on your behalf and detailed within the following Schedule of Building Defects for you, have been fully rectified and/or otherwise justified as complying with the requirements of the National Construction Code/Building Code of Australia (NCC/BCA), the relevant Australian Standards, your plans, both engineering and architectural, your specification and to within the limits of the Victorian Building Authority's Guide to Standards & Tolerances, for them to meet their obligations under their Building Contract and the Domestic Building Contracts Act, for which they rely on for you as the Owner to pay them their contract price.

Via both your Building Contract and the Domestic Building Contracts Act your builder gives you a number of warranties (promises), which in part state-

- i. the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract; and
- ii. the builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.
- iii. the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise fully/further justify all of the identified items that breach any of your plans, your specification, the NCC/BCA and all of the Australian Standards adopted by being referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill. Further, in determining if rectification of any other defect is required, any item that is not covered by the above documents should also be addressed if its breach is covered by the Victorian Building Authority's Guide to Standards & Tolerances or any other Australian Standards guide.

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
ROOF AND GUTTER	Roof Covering	Flashing Conditions	<p>Excessive gaps between flashings and wall cladding. NCC 2019 P2.2.2 Weatherproofing states the following:</p> <p>A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</p> <p>(a) unhealthy or dangerous conditions, or loss of amenity for occupants; and</p> <p>(b) undue dampness or deterioration of building elements.</p> <p>NCC 2019 BCA VOLUME 1:</p> <p>FP1.4 Weatherproofing</p> <p>A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</p> <p>(a) unhealthy or dangerous conditions, or loss of amenity for occupants; and</p> <p>(b) undue dampness or deterioration of building elements.</p> <p>In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a consumer, there is a guarantee that the services will be rendered with due care and skill.</p> <p>The building contract you have with your builder is a legally binding contract, which amongst several other things, outlines the specific details of your new home and the amount you will need to pay your builder.</p> <p>Both your building contract and the Domestic Building Contracts Act (Act of Parliament in Victoria) have warranties that your builder must provide you, which in part state;</p> <p>The builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract.</p> <p>The builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.</p> <p>The builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.</p> <p>These warranties mean that your builder has a contractual obligation to rectify or otherwise justify all of the identified items that breach any of your plans, specification, the NCC/BCA and all of the Australian Standards referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill.</p>

ROOF AND GUTTER	Roof Covering	Flashing Conditions	<p>An inspection of the capping found that It is NOT ADEQUATE.</p> <p>RECOMMENDATION: ADJUST TO ACHIEVE 3° FALL</p> <p>NOTES: SA HB 39:2015 8.7 (B) (b) Parapet cappings Parapet cappings to be fixed to parapet walls at intervals not exceeding 500 mm with masonry anchors and cleats that permit longitudinal expansion and contraction. A minimum fall of 3° to be provided across the width of the flashing, to divert water back onto the roof coverings so as to prevent the water from dripping down the fascia causing unsightly staining [see Figure 8.7(A)].</p>
ROOF AND GUTTER	Roof Covering	Flashing Conditions	<p>An inspection of the capping found that It is NOT ADEQUATE, and rainwater blowback can occur.</p> <p>NOTES: HB 39 2015 Clause 8.1.4 Sizes & Covers The minimum cover over other materials and structures for roof flashings and cappings is given in Table 8.1.4. For jointing, see Clause 5.8.</p>

ROOF AND GUTTER	Roof Covering	Flashing Conditions	<p>RECOMMENDATION: COMPLETE THE SILICON JOIN CLEAN OFF SILICONE REDUCE EXCESSIVE SILICON WIDTH Install Flashing cover as per guide to Standards & Tolerances Figure 7.06</p> <p>NOTES: Breach of SA HB 39 2015 Clause 2.9 SILICONE RUBBER SEALANT SELECTION AND APPLICATION The sealant industry in Australia produces a wide variety of building sealants, which together embrace a multitude of end use applications and an even greater range of conditions. The sealant providing the optimum properties relating to metal roofing is neutral-cure silicone rubber. Sealants are generally not classed as adhesives. Different metals require different sealants, but the same installation techniques are used. All surfaces to be bonded are to be clean and dry and free from contaminants such as old sealant or oil. Mineral turpentine is generally suitable, but care is necessary to ensure the complete removal of residual solvent. In the event that solvents such as xylol or toluol are used, gloves are to be worn for skin protection and adequate ventilation is to be provided. Surface preparation is to be carried out immediately before sealant application. The joint is to be finished as soon as practicable after sealant extrusion to prevent premature curing, which may cause poor bonding to the second surface. Sealant manufacturers specify the maximum open time for sealants. For best practice, the application of sealant is to be as follows (see Figure 2.9): a. Apply the sealant in a continuous steady flow to achieve a fully filled void free joint. b. Apply the sealant throughout the line of intended fasteners for complete bonding to avoid entrapment of air and to ensure that the fasteners are thoroughly sealed within the lap. The sealed lap is to be 25 mm.</p> <p>Recommendation Contact a qualified roofing professional.</p>
BALCONY	Balcony Findings	Drains	<p>Builder must make sure minimum 1:100 fall is maintained & water is not ponding. Applicable reference: Applicable reference: AS 3500.3-2021- Plumbing & drainage-storm water drainage</p>
BALCONY	Balcony Findings	Drains	<p>Builder must make sure minimum 1:100 fall is maintained & water is not ponding. Applicable reference: Applicable reference: AS 3500.3-2021- Plumbing & drainage-storm water drainage</p>

BALCONY	Balcony Findings	Drains	Non compliant. Overflow needs to be installed
BALCONY	Balcony Findings	Balustrade Condition	Paint touch ups required. Caulking work is poor to all penetration cappings and flashings. Recommend the builder repair as water leaks are imminent and will lead to Major repairs. No Upstand Flashings or Covers Installed against render.
BALCONY	Balcony Findings	Flooring	Tiles are drummy and loose. This needs to be fixed to eliminate any water penetration issues.
BALCONY	Balcony Findings	Flooring	The guide to Standards & tolerances States: 13.07 Ponding on waterproof decks and balconies Waterproof decks and balconies are defective if water ponds (with the exception of residual water remaining due to surface tension) or does not drain to the outer edge9 or a stormwater inlet. Decks and balconies that are required to be waterproofed are defective if they are not provided with adequate drainage and provision for overflow.
BALCONY	Balcony Findings	Other	Leaking has occurred through flooring. Recommendations:The builder should be notified to commence urgent remedial repairs. There is moisture beneath the tiles trapped between the membrane and flooring. Recommend removing tiles and relaying entire balcony with sufficient fall, drainage and overflow points.
INTERIORS	Lounge Room	Ceiling	Urgent remedial works required to the balcony above as water is penetrating through to the ceiling and walls below. High moisture readings were taken to the ceiling, walls and floor. Thermal imaging indicated the balcony drainage points are both leaking. MAJOR DEFECT: This can lead to removal and repair of all plaster, insulation and floor coverings if not dried out and repaired correctly.
INTERIORS	Lounge Room	Walls	Extremely high moisture readings were taken and an active leak has left the external wall and floorboards waterlogged. Balcony repairs are urgently recommended before the internal linings can be re-assessed
INTERIORS	Lounge Room	Flooring	Water logging to the skirting boards and floor boards caused by the leak coming from the balcony.

BATHROOM(S)	Bath Room 1	Flooring	<p>Caulking incomplete. The Guide to Standards & tolerances states:</p> <p>11.07 Flexible sealants to junctions</p> <p>Flexible or waterproof sealants to junctions are defective if they are not installed when required by the Building Code of Australia and AS 3958.1, or in accordance with the manufacturer's installation requirements.</p> <p>Recommend either removing entire shower base and floor tiles and re-waterproofing or removing all grout and silicone and having entire bathroom sealed with an epoxy non-porous grout and caulked with a urethane mastic.</p>
BATHROOM(S)	Bath Room 1	Shower And Bath	<p>An inspection of the vertical separation requirement in the shower area found that it was NOT ADEQUATE, the waterstop must have a has a leg of a minimum of 5 mm under the shower screen frame.</p> <p>In this case there was not waterstop installed under the shower screen.</p> <p>BREACHES:</p> <p>Waterproofing of domestic wet areas AS 3740—2010</p> <p>Clause 3.13.4 Enclosed showers without hobs or set-downs</p> <p>At the extremity of the shower area—</p> <p>(a) where a shower screen is to be installed, a water stop shall be positioned so that its vertical leg will finish a minimum of 5 mm above the finished floor level (see Figure 3.6); and</p> <p>(b) where the water stop intersects with a wall or is joined, the junction shall be waterproof.</p> <p>NOTE: For a typical hobless construction, see Figure 3.6.</p>

Summary Of Minor Defects

Below Is A Summary Of Defects Other Than Major Defects.

Section	Location	Name	Comment
SITE	Surface Drainage	Drains	The storm water drains are incomplete.
SITE	Landscaping	Landscaping	Incomplete landscaping.
ROOF AND GUTTER	Roof Covering	Overall Condition	Water retention on roof capping- Minimum 3 degree fall is required Applicable reference: NCC 2019- clause -3.5.1.7 Flashings and cappings
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	Downpipe rainwater heads have been mounted too low with overflow pipes above not extended down. This will cause water splashing and potential leaks between the rainwater head and the overflow above.
EXTERIOR	External Door Components	Door Findings	Caulking required around door frame.
EXTERIOR	Exterior Walls	Condition	Mortar stain on brickwork Ref: VBA Guide to standards & tolerance 2015 - section 3.11 -Cleaning, mortar smears and stains Stains, mortar smears and damage caused by cleaning are defective if they are visible from a normal viewing position

EXTERIOR	Exterior Walls	Condition	<p>Control joints poorly caulked.</p> <p>The NCC 2019 Clause 3.3.5.13 Vertical articulation joints</p> <p>a) Vertical articulation joints must be provided in masonry veneer walls in accordance with Open link in same page(b), except in walls constructed on sites where the soil classification is A or S.</p> <p>(b) Articulation joints between masonry elements must have a width of not less than 10 mm and be provided</p> <p>(i) in straight, continuous walls having no openings - at not more than 6 m centres and within 4.5 m, but not closer than 470 mm of all corners; and</p> <p>(ii) in straight, continuous walls with openings more than 900 x 900 mm - at not more than 5 m centres and located so that they are not more than 1.2 m away from openings; and</p> <p>(iii) where the height of the wall changes by more than 20% - at the position of change in height; and</p> <p>(iv) where a wall changes in thickness; and</p> <p>(v) at control or construction joints in footings or slabs; and</p> <p>(vi) at junctions of walls constructed of different masonry materials.</p> <p>(c) Articulation joints must not be constructed adjacent to arched openings.</p> <p>(d) Articulation joints must either be filled with—</p> <p>(i) a compressible foam or polystyrene filler and a flexible sealant; or</p> <p>(ii) a purpose made backer rod and a flexible sealant (see Figure 3.3.5.5).</p> <p>Recommendation Contact a qualified professional.</p>
EXTERIOR	Exterior Walls	Condition	Incomplete render noted.
EXTERIOR	Exterior Walls	Condition	Penetrations not sealed.
EXTERIOR	Exterior Walls	Condition	<p>Perp joints inconsistent in width/depth.</p> <p>Deviation of mortar Perpend thickness at various locations</p> <p>Applicable reference:</p> <p>VBA Guide to standards & Tolerances 2015- 3.04 - Tolerances in Masonry- Maximum difference in width of perpend in any wall must not exceed 8 mm</p> <p>Recommendation: It is my professional opinion that any attempt to rectify this issue will result in the brickwork presenting more poorly. It is the clients opinion on this that will determine what cause of action is pursued.</p>
EXTERIOR	Exterior Windows	Overall Condition	Caulking required to window frames.
EXTERIOR	Eaves	Eave Condition	Paint touch-ups required.
EXTERIOR	Durable Notice	Durable Notice	The durable notice was not in the meter box at the time of Inspection.

BALCONY	Balcony Findings	Flooring	Grout / Glue On edge trim angle.
INTERIORS	Doors	Front Entry Doors	Paint touch ups required as per photographic evidence.
INTERIORS	Lounge Room	Ceiling	Electrical incomplete
INTERIORS	Lounge Room	Walls	Walls require repainting. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.
INTERIORS	Rumpus/ Family Room	Door	Paint touch ups required as indicated by markers
INTERIORS	Internal Stair Case	Condition	Caulking incomplete. Settlement cracks needed to be patched
INTERIORS	Bedroom 2	Ceiling	Paint touch ups required.
INTERIORS	Bedroom 2	Walls	Paint touch ups required. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.
BATHROOM(S)	Bath Room 1	Shower And Bath	Silicone has not been applied at corners.
KITCHEN	Kitchen	Ceiling	Cornice mitres have separated. The Guide to Standards & Tolerances States: 9.15 Cracking in cornices Cracking of cornice joints such as butt joints and mitres, and at junctions with walls and ceilings, is defective if it exists at handover or exceeds 1 mm in width within the first 24 months of completion and can be seen from a normal viewing position.

KITCHEN	Kitchen	Sink & Joinery	<p>Damage was noted to the benchtop.</p> <p>RECOMMENDATIONS: Fill & Hone edge and repolish</p> <p>NOTES: BREACH OF AUSTRALIAN CONSUMER LAW In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a consumer, there is a guarantee that the services will be rendered with due care and skill. The building contract you have with your builder is a legally binding contract, which amongst several other things, outlines the specific details of your new home and the amount you will need to pay your builder. Both your building contract and the Domestic Building Contracts Act (Act of Parliament in Victoria) have warranties that your builder must provide you, which in part state; The builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract. The builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act. The builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract. These warranties mean that your builder has a contractual obligation to rectify or otherwise justify all of the identified items that breach any of your plans, specification, the NCC/BCA and all of the Australian Standards referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill. In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a consumer, there is a guarantee that the services will be rendered with due care and skill. Recommendation Contact a qualified countertop contractor.</p>
KITCHEN	Kitchen	Sink & Joinery	Cabinet doors/drawers require adjusting for consistent gaps.

KITCHEN	Kitchen	Sink & Joinery	Caulking incomplete.
KITCHEN	Kitchen	Sink & Joinery	Pipe Penetration openings - As per the guide to standards & tolerances 2017 - Clause 7.3 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.

SITE

Surface Drainage**Drains**

The storm water drains are incomplete.



Landscaping.**Landscaping**

Incomplete landscaping.



ROOF AND GUTTER

Roof Covering

Roof Covering Type

Metal roof cladding/sheeting.



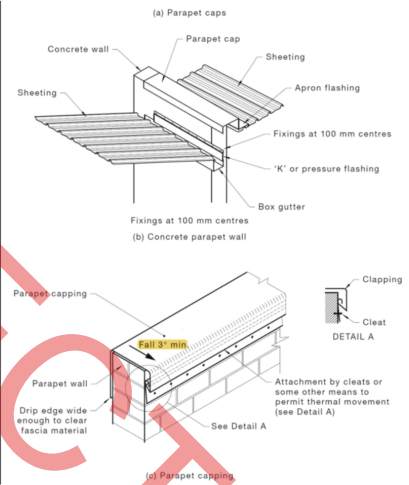
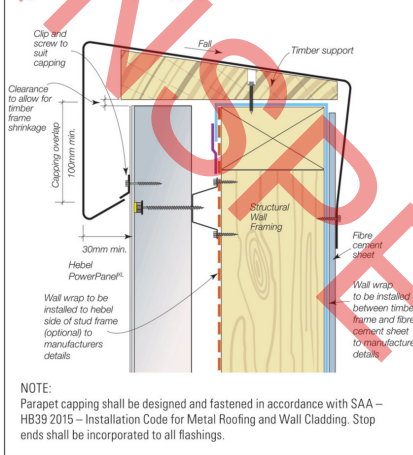
Overall Condition

Water retention on roof capping- Minimum 3 degree fall is required

Applicable reference:

NCC 2019- clause -3.5.1.7 Flashings and cappings

Figure 3.6.6.9 Parapet capping



Flashing Conditions

Excessive gaps between flashings and wall cladding.

NCC 2019 P2.2.2 Weatherproofing states the following:

A roof and external wall (including openings around windows and doors) must prevent the penetration of water that

could cause—

- (a) unhealthy or dangerous conditions, or loss of amenity for occupants; and
- (b) undue dampness or deterioration of building elements.

NCC 2019 BCA VOLUME 1:

FP1.4 Weatherproofing

A roof and external wall (including openings around windows and doors) must prevent the penetration of water that

could cause—

- (a) unhealthy or dangerous conditions, or loss of amenity for occupants; and

(b) undue dampness or deterioration of building elements.

In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a

consumer, there is a guarantee that the services will be rendered with due care and skill.

The building contract you have with your builder is a legally binding contract, which amongst several other things, outlines

the specific details of your new home and the amount you will need to pay your builder.

Both your building contract and the Domestic Building Contracts Act (Act of Parliament in Victoria) have warranties that

your builder must provide you, which in part state;

The builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the

plans and specifications set out in the contract.

The builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under

that Act.

The builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date

(or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise justify all of the identified

items that breach any of your plans, specification, the NCC/BCA and all of the Australian Standards referenced within it;

and must do so in a proper workmanlike manner with reasonable care and skill.

An inspection of the capping found that It is NOT ADEQUATE.

RECOMMENDATION:
ADJUST TO ACHIEVE 3° FALL

NOTES:

SA HB 39:2015 8.7 (B)

(b) Parapet cappings Parapet cappings to be fixed to parapet walls at intervals not exceeding 500 mm with masonry anchors and cleats that permit longitudinal expansion and contraction. A minimum fall of 3° to be provided across the width of the flashing, to divert water back onto the roof coverings so as to prevent the water from dripping down the fascia causing unsightly staining [see Figure 8.7(A)].

An inspection of the capping found that It is NOT ADEQUATE, and rainwater blowback can occur.

NOTES:

HB 39 2015 Clause 8.1.4 Sizes & Covers

The minimum cover over other materials and structures for roof flashings and cappings is given in Table 8.1.4. For jointing, see Clause 5.8.

RECOMMENDATION:

COMPLETE THE SILICON JOIN | CLEAN OFF SILICONE | REDUCE EXCESSIVE SILICON WIDTH Install Flashing cover as per guide to Standards & Tolerances Figure 7.06

NOTES:

Breach of SA HB 39 2015 Clause 2.9 SILICONE RUBBER SEALANT SELECTION AND APPLICATION

The sealant industry in Australia produces a wide variety of building sealants, which together embrace a multitude of end use applications and an even greater range of conditions. The sealant providing the optimum properties relating to metal roofing is neutral-cure silicone rubber. Sealants are generally not classed as adhesives.

Different metals require different sealants, but the same installation techniques are used.

All surfaces to be bonded are to be clean and dry and free from contaminants such as old sealant or oil. Mineral turpentine is generally suitable, but care is necessary to ensure the complete removal of residual solvent.

In the event that solvents such as xylol or toluol are used, gloves are to be worn for skin protection and adequate ventilation is to be provided.

Surface preparation is to be carried out immediately before sealant application. The joint is to be finished as soon as practicable after sealant extrusion to prevent premature curing, which may cause poor bonding to the second surface.

Sealant manufacturers specify the maximum open time for sealants.

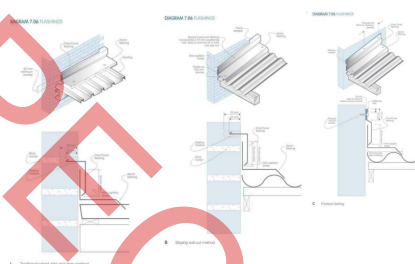
For best practice, the application of sealant is to be as follows (see Figure 2.9):

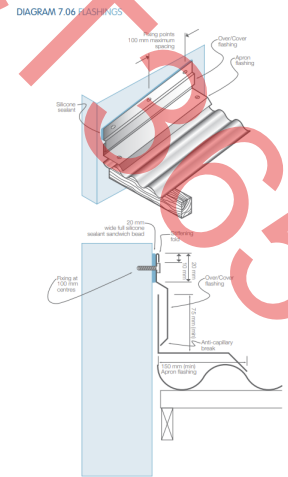
- Apply the sealant in a continuous steady flow to achieve a fully filled void free joint.
- Apply the sealant throughout the line of intended fasteners for complete bonding to avoid entrapment of air and to ensure that the fasteners are thoroughly sealed within the lap.

The sealed lap is to be 25 mm.

Recommendation

Contact a qualified roofing professional.

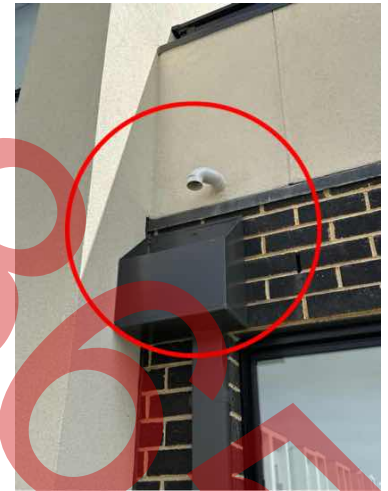




Down Pipes

Down Pipe Findings

Downpipe rainwater heads have been mounted too low with overflow pipes above not extended down. This will cause water splashing and potential leaks between the rainwater head and the overflow above.



HOT WATER SYSTEM

Hot Water Unit

Hot Water Unit Findings

The hotwater system has been installed.



EXTERIOR

Weep Holes and Ventilation

Findings

Acceptable.



External Door Components

Door Findings

Caulking required around door frame.



Exterior Walls

Exterior Wall Material

Brick

Light weight clad to 2nd storey.

Rendered Hebel panel system.



Condition

Mortar stain on brickwork

Ref: VBA Guide to standards & tolerance 2015 - section 3.11 -Cleaning, mortar smears and stains

Stains, mortar smears and damage caused by cleaning are defective if they are visible from a normal viewing position

Control joints poorly caulked.

The NCC 2019 Clause 3.3.5.13 Vertical articulation joints

- a) Vertical articulation joints must be provided in masonry veneer walls in accordance with Open link in same page(b), except in walls constructed on sites where the soil classification is A or S.
- (b) Articulation joints between masonry elements must have a width of not less than 10 mm and be provided
 - (i) in straight, continuous walls having no openings - at not more than 6 m centres and within 4.5 m, but not closer than 470 mm of all corners; and
 - (ii) in straight, continuous walls with openings more than 900 x 900 mm - at not more than 5 m centres and located so that they are not more than 1.2 m away from openings; and
 - (iii) where the height of the wall changes by more than 20% - at the position of change in height; and
 - (iv) where a wall changes in thickness; and
 - (v) at control or construction joints in footings or slabs; and
 - (vi) at junctions of walls constructed of different masonry materials.
- (c) Articulation joints must not be constructed adjacent to arched openings.
- (d) Articulation joints must either be filled with—
 - (i) a compressible foam or polystyrene filler and a flexible sealant; or
 - (ii) a purpose made backer rod and a flexible sealant (see Figure 3.3.5.5).

Recommendation

Contact a qualified professional.

Incomplete render noted.

Penetrations not sealed.

Perp joints inconsistent in width/depth.

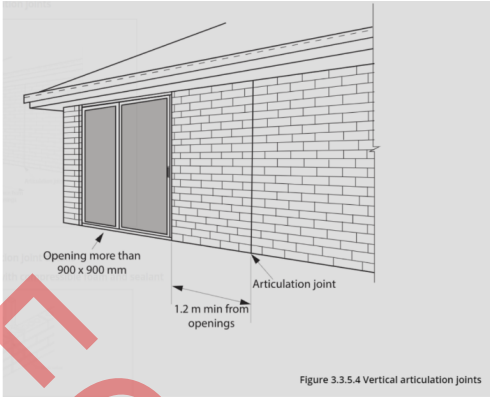
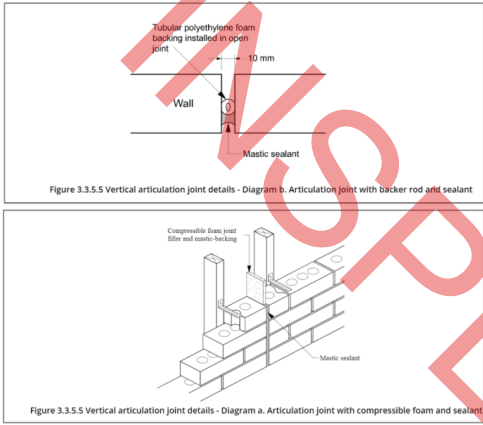
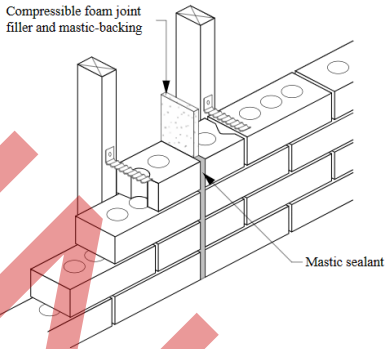
Deviation of mortar Perpend thickness at various locations

Applicable reference:

VBA Guide to standards & Tolerances 2015- 3.04 - Tolerances in Masonry- Maximum difference in width of perpend in any wall must not exceed 8 mm

Recommendation:

It is my professional opinion that any attempt to rectify this issue will result in the brickwork presenting more poorly. It is the clients opinion on this that will determine what cause of action is pursued.





Exterior Windows

Overall Condition

Caulking required to window frames.



DPC

Damp Proof Course

A damp proof course (DPC) was noted.

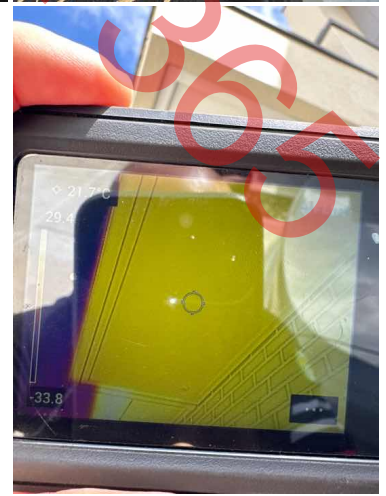
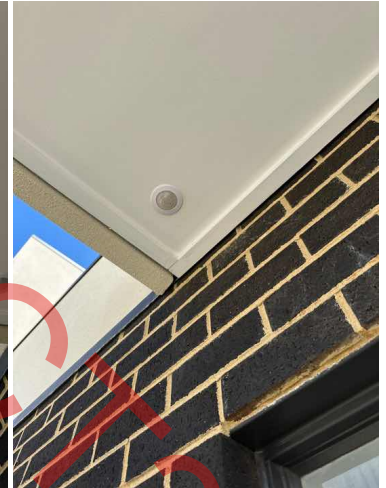


Vapour Barrier

Eaves

Eave Condition

Paint touch-ups required.



Durable Notice

Durable Notice

The durable notice was not in the meter box at the time of inspection.



BALCONY

Balcony Findings

Overall Condition

Rectification work required

Drains

Builder must make sure minimum 1:100 fall is maintained & water is not ponding.

Applicable reference:

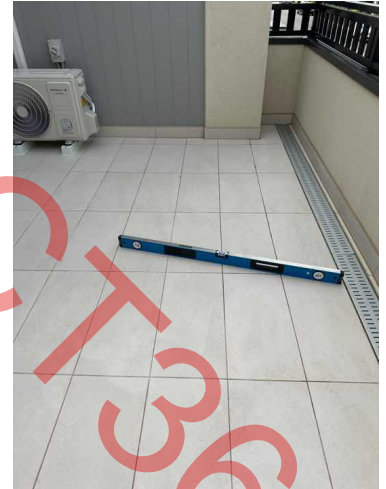
Applicable reference: AS 3500.3-2021- Plumbing & drainage- storm water drainage

Builder must make sure minimum 1:100 fall is maintained & water is not ponding.

Applicable reference:

Applicable reference: AS 3500.3-2021- Plumbing & drainage- storm water drainage

Non compliant. Overflow needs to be installed



Balustrade Condition

Paint touch ups required.

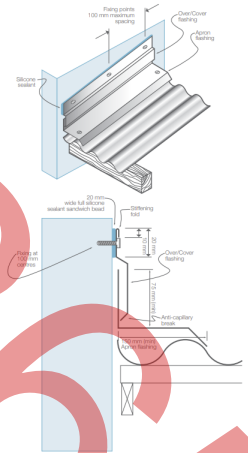
Caulking work is poor to all penetration cappings and flashings.

Recommend the builder repair as water leaks are imminent and will lead to Major repairs.

No Upstand Flashings or Covers Installed against render.



DIAGRAM 7.06 FLASHINGS



Flooring

Tiles are drummy and loose. This needs to be fixed to eliminate any water penetration issues.

Grout / Glue On edge trim angle.

The guide to Standards & tolerances States:

13.07 Ponding on waterproof decks and balconies

Waterproof decks and balconies are defective if water ponds (with the exception of residual water remaining due to surface tension) or does not drain to the outer edge9

or a stormwater inlet.

Decks and balconies that are required to be waterproofed are defective if they are not provided with adequate drainage and provision for overflow.



Other

Leaking has occurred through flooring. Recommendations: The builder should be notified to commence urgent remedial repairs.

There is moisture beneath the tiles trapped between the membrane and flooring.

Recommend removing tiles and relaying entire balcony with sufficient fall, drainage and overflow points.

INTERIORS

Doors

Front Entry Doors

Paint touch ups required as per photographic evidence.



Smoke Alarm

Was a Smoke Alarm Fitted

Yes 2 smoke alarms were sighted but not tested.

Legislation requires smoke Alarms to be installed.

Check with your local council regarding type, locations and other related requirements.

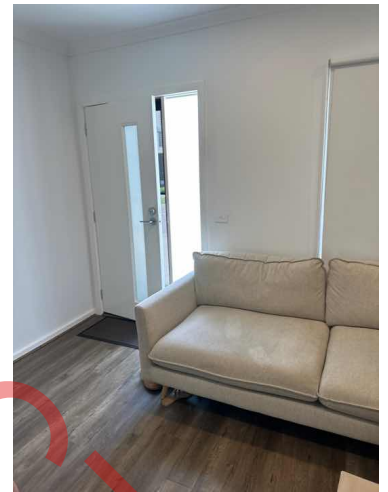


Lounge Room

Overall Condition

Rectification work required





Ceiling

Urgent remedial works required to the balcony above as water is penetrating through to the ceiling and walls below. High moisture readings were taken to the ceiling, walls and floor.

Thermal imaging indicated the balcony drainage points are both leaking.

MAJOR DEFECT: This can lead to removal and repair of all plaster, insulation and floor coverings if not dried out and repaired correctly.

Electrical incomplete



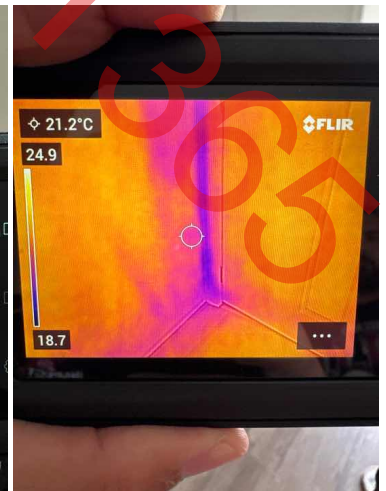
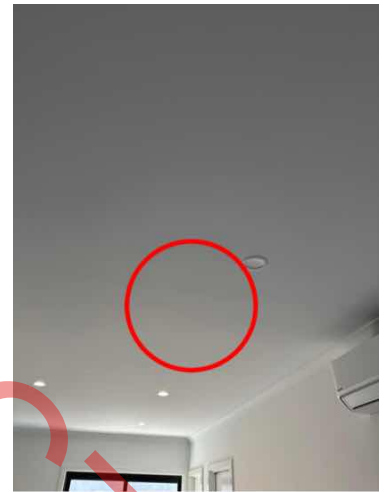
Walls

Extremely high moisture readings were taken and an active leak has left the external wall and floorboards waterlogged.

Balcony repairs are urgently recommended before the internal linings can be re-assessed

Walls require repainting.

The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.



Flooring

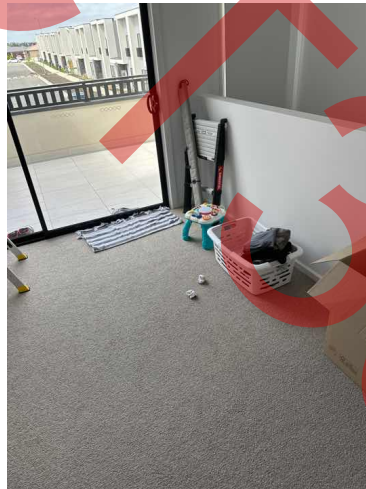
Water logging to the skirting boards and floor boards caused by the leak coming from the balcony.



Rumpus/Family Room

Overall Condition

Rectification work required





Door

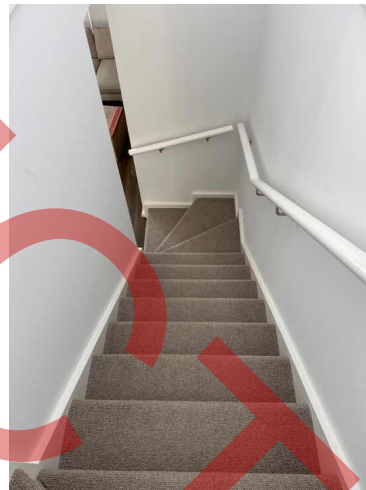
Paint touch ups required as indicated by markers

Internal Stair Case

Condition

Caulking incomplete.

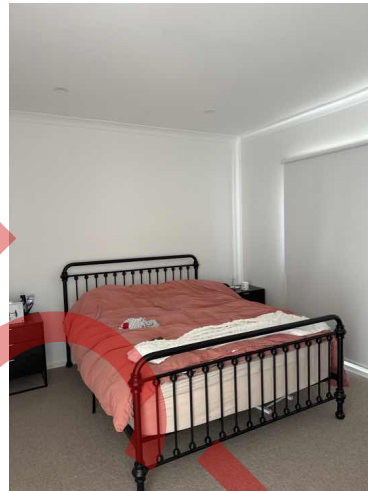
Settlement cracks needed to be patched



Bedroom 1

Overall Condition

The standard of this room is acceptable



Bedroom 2

Overall Condition

Rectification work required



Ceiling

Paint touch ups required.



Walls

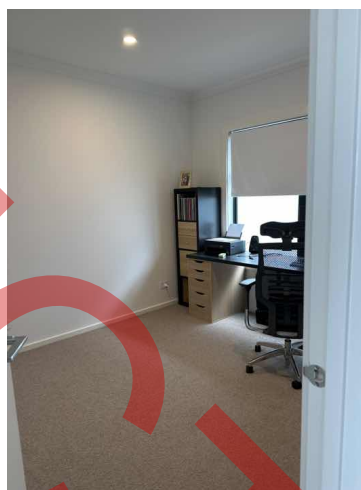
Paint touch ups required. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.



Bedroom 3

Overall Condition

The standard of this room is acceptable



BATHROOM(S)

Bath Room 1

Location

Master bedroom.



Flooring

Caulking incomplete. The Guide to Standards & tolerances states:

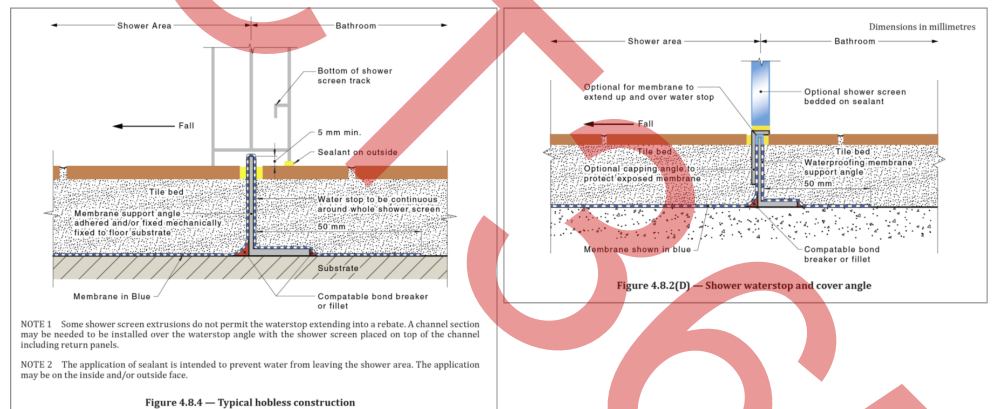
11.07 Flexible sealants to junctions

Flexible or waterproof sealants to junctions are defective if they are not installed when required by the Building Code of Australia and AS 3958.1, or in accordance with the manufacturer's installation requirements.

Recommend either removing entire shower base and floor tiles and re-waterproofing or removing all grout and silicone and having entire bathroom sealed with an epoxy non-porous grout and caulked with a urethane mastic.

Shower And Bath

Silicone has not been applied at corners.



An inspection of the vertical separation requirement in the shower area found that it was **NOT ADEQUATE**, the waterstop must have a leg of a minimum of 5 mm under the shower screen frame.

In this case there was not waterstop installed under the shower screen.

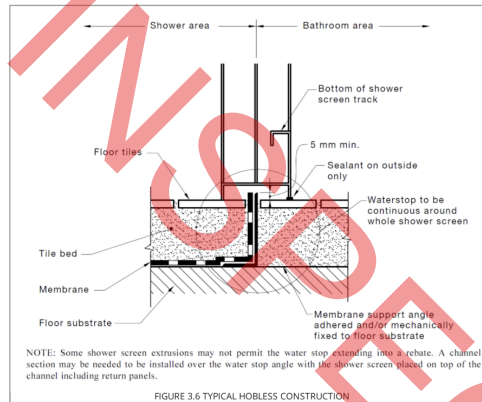


FIGURE 3.6 TYPICAL HOBLESS CONSTRUCTION



BREACHES:

Waterproofing of domestic wet areas
AS 3740—2010

Clause 3.13.4 Enclosed showers
without hobs or set-downs

At the extremity of the shower area —

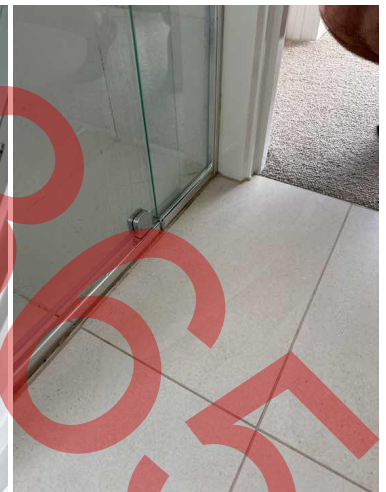
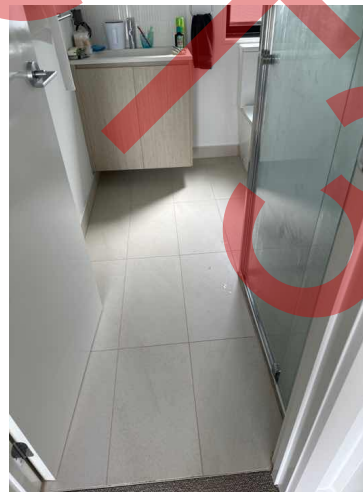
- (a) where a shower screen is to be installed, a water stop shall be positioned so that its vertical leg will finish a minimum of 5 mm above the finished floor level (see Figure 3.6); and
- (b) where the water stop intersects with a wall or is joined, the junction shall be waterproof.

NOTE: For a typical hobless construction, see Figure 3.6.

Bath Room 2

Location

Hallway.



**Overall Condition**

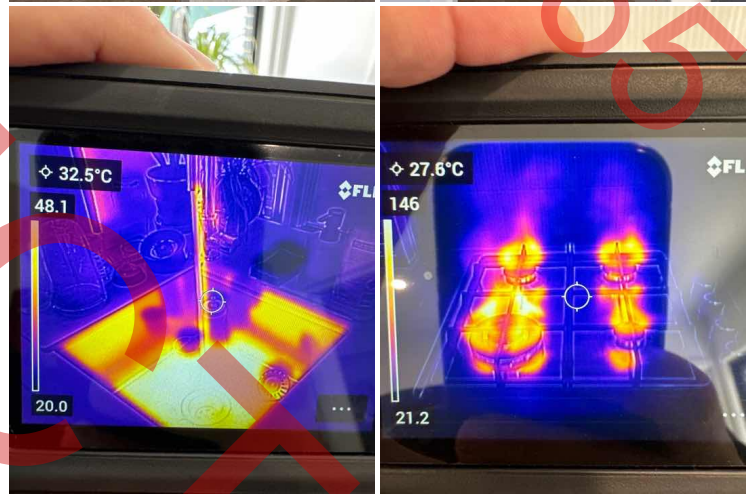
Rectification work required.

KITCHEN

Kitchen

Overall Condition

Rectification work required.



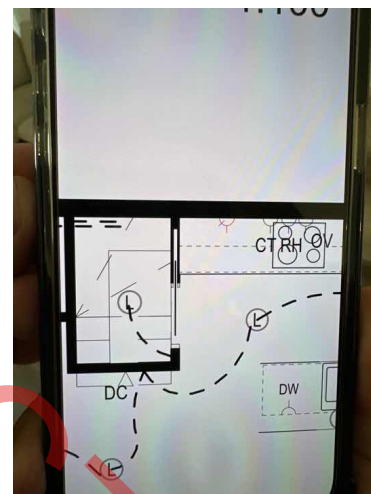
Ceiling

Cornice mitres have separated. The Guide to Standards & Tolerances States:

9.15 Cracking in cornices

Cracking of cornice joints such as butt joints and mitres, and at junctions with walls and ceilings, is defective if it exists at handover or exceeds 1 mm in width within the first 24 months of completion and can be seen from a normal viewing position.





Sink & Joinery

Damage was noted to the benchtop.

RECOMMENDATIONS:

Fill & Hone edge and repolish

NOTES:

BREACH OF AUSTRALIAN CONSUMER LAW

In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a consumer, there is a guarantee that the services will be rendered with due care and skill.

The building contract you have with your builder is a legally binding contract, which amongst several other things, outlines the specific details of your new home and the amount you will need to pay your builder.

Both your building contract and the Domestic Building Contracts Act (Act of Parliament in Victoria) have warranties that your builder must provide you, which in part state;

The builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract.

The builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.

The builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise justify all of the identified items that breach any of your plans, specification, the NCC/BCA and all of the Australian Standards referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill.

In accordance with Section 60 of the Australian Consumer Law (If a person supplies, in trade or commerce, services to a consumer, there is a guarantee that the services will be rendered with due care and skill.

Recommendation

Contact a qualified countertop contractor.

Cabinet doors/drawers require adjusting for consistent gaps.

Caulking incomplete.

Pipe Penetration openings - As per the guide to standards & tolerances 2017 - Clause 7.3 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.



PROPERTY AND INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Building Type

The dwelling is a Town House. NOTE: The building may be part of an Owners Corporation (Strata Title). The purchaser should ensure that a strata inspection is carried out. Only common property areas in the immediate vicinity of the subject property have been inspected.

Construction Type

The wall cladding is Brick. With Gypsum internal wall lining. (Brick Veneer)

Rendered light weight sheeting

Roof Cladding

The roof is metal

Roof Design

Rear Lean to Flat Roof design. Note: We are unable to access the roof void on flat roof, skillion or cathedral ceiling design dwellings. The only method of accessing is by removing roof cladding. We cannot comment on whether any defects exist between the roof cladding and the ceiling lining.

Footings Type

Slab On Ground Footing Construction.

Storeys

Two storey home

People Present

The owner was present.

Areas Where Full Inspection Restricted

Areas Inspected

Building Exterior

Building Interior

Garage

Roof Exterior

Site

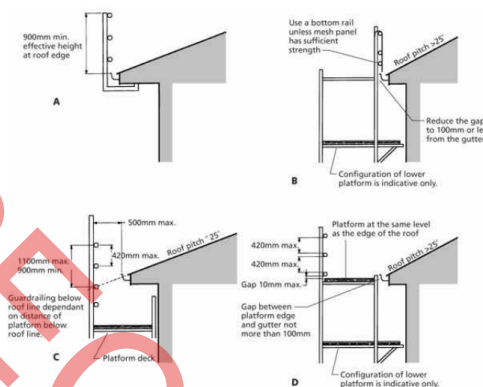
Area Where Inspection Was Restricted

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.



Areas Not Inspected

Second storey roof due to height restrictions.

Utility Status

Water

The water was Connected.

Electricity

Electricity to the dwelling was connected

Gas

Gas to the dwelling was connected.

TERMS AND CONDITIONS

General Definitions used in this Report:

Definitions specific to Building Inspections and Reports for new buildings. You should read and understand the following definitions of words used in the Inspection Agreement and the Report.

Acceptable: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

Rectification work required: A defect or a number of defects were visible that will require assessment and or repair by a qualified trades person.

Monitor: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

Strata: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

Significant Item: An item that must be reported in accordance with the scope of the inspection.

Major Defect: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any defect other than what is described as a Significant Item or major defect.

Safety Hazard: A defect that presents unsafe conditions and must be reported as a Major defect.

Accessible Area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Building Element: A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person(s) or other legal entity for which the inspection is to be carried out. If ordered by an agent then it is agreed that the agent has the authority to act for and on behalf of the person.

You/Your/The Purchaser/Client: The party identified on the face page of this report as the Client, and where more than one party all such parties jointly and severally, together with any agent of that party.

Defect: A fault or deviation from the intended condition of the material, assembly or component.

Handover: The moment the builder hands over the keys and the owner officially takes possession of the property.

Firm: The business company, partnership, trust or individual named on the report, its agents, or employees that you have requested to carry out the property inspection and Report.

Inspector: The person or organization responsible for carrying out the inspection. (See also "Our/Us/We" below.)

Limitation: Any factor that prevents full completion of the purpose of the inspection.

Manhole (cover) or Access hole: An opening in the structure to allow for safe entry to carry out an inspection.

Practical Completion: The stage of construction when contract works are considered completed and the building is considered reasonably fit for habitation. There may be some minor defects and incomplete work outstanding.

Property: The structure to be inspected and the site upon which it stands to within 30 metres of the dwelling.

Report: A document and any attachments containing advice about the condition of the Property and issued to you by us following our inspection of the Property.

Visual Inspection: The inspection shall comprise visual assessment of accessible areas of the Property to identify major visible defects to the building structure and to form an opinion regarding the general condition of the structure of the property. Note: If cracking to masonry building elements is noted in the Report a Structural Engineer must be consulted.

Safe and Reasonable Access - is interpreted to mean areas that are safe and unobstructed. Does not include the use of destructive or invasive inspection methods or moving of building materials, stored goods, furniture, vehicles etc.

AS 4349.1-2007 defines the extent of safe and reasonable access as follows:

"The extent of accessible areas shall be determined by the Inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The Inspector shall also determine whether sufficient space is available to allow safe access.

The inspection shall include only accessible areas and areas that are within the Inspectors line of sight and close enough to enable reasonable appraisal."

Areas for Inspection shall cover all safe and accessible areas the Property.

Access Table 3.2 from AS 4349.1-2007

Table Notes:

1. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
2. Sub floor or slab areas sprayed with chemicals will not be inspected unless it is considered safe to do so. Our/Us/We/The

General and Important Information:

Important Information Regarding the Scope and Limitations of the Inspection and this Report. Any person who relies upon the contents of this report does so acknowledging that the clauses, which define the Scope and Limitations of the inspection, and forms an integral part of inspection agreement and the inspection and the Report.

General Requirements:- Inspection of residential buildings under construction or completed residential building inspections i.e. Practical Completion Inspection (PCI); Building Stage Report; Handover Inspection Report; Warranty Report; Building Defects Report. Standards & Tolerances applies; Standard AS4349.0-2007 Inspection of buildings Part 0: General requirements applies.

Scope and Limitations: - Residential Buildings Under Construction and Completed Building Inspections: The inspection is based on a visual assessment of the property to identify any major defects, the incidence of minor defects, and safety hazards associated with the property, and to form an opinion regarding the general condition of the property at the time of inspection, for the relevant inspection as ordered by The Client and agreed in the Inspection Agreement. The inspection and reporting will include any accessible parts of the property, according to the type of inspection being inspected.

The inspection will be carried out in accordance with AS4349.0-2007. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. The report is a reasonable attempt to assess the quality of the work and to identify any obvious or significant defects apparent at the time of the inspection. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. If Cracking of Building Elements is noted in the Report or you require any advice of a structural nature you will consult the builder, and a Structural Engineer as necessary. Refer to Appendix E of AS4349.1-2007. (CRACKING OF BUILDING ELEMENTS)

The Client is responsible for the signing of any documents relating to the construction or handover of the property. The Client shall obtain any relevant notices and certificates relating to the subject building from the builder or certifier for the completion of the property, as required by relevant building legislation.

Limitations: The Inspection is a non-invasive visual inspection, which is limited to those accessible areas and sections of the property to which Safe, and Reasonable Access is both available and permitted on the date and time of the inspection. Areas where reasonable entry is denied to the inspector, or where safe and reasonable access is not available, are excluded from and do not form part of the inspection. These may include; any sections/areas of the building that were obstructed at time of inspection by; contractors, goods, materials, vehicles etc. in, on or against section/areas of the building belonging to the builder, contractors, owner, and/or other parties. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed.

Purpose: The purpose of the inspection is to provide advice to the Client or owner of a residential dwelling that is under construction, or a recently completed residential dwelling, regarding the condition of the property at the time of inspection. The visual inspection will identify significant building defects, minor defects, incomplete work, omissions, safety hazards and/or maintenance issues, so that the Client may provide a written report of a defect list to the builder or relevant person/s, so as to enable them therewith to negotiate the rectification of any such defects etc. The inspection shall include specific requirements or conditions requested by the client, and agreed upon, in the Inspection Agreement. The Report is for the Clients purpose only.

Exclusions: The Report will not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. The Report will not include the inspection and assessment of items or matters that do not fall within the Building Consultant or Inspectors direct expertise. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. The Client acknowledges that this Report excludes and specifically does not cover or deal with inspection of specific items, mentioned in the Inspection Agreement. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. If Cracking of Building Elements is noted in the Report the Client will consult a Structural Engineer. Refer to Appendix E of AS4349.1-2007. Estimating the cost of rectification of defects is not included in a standard property report.

Exclusive Use: The Report may not be provided to any other Person without Our express written permission, unless The Client is authorized to do so by relevant Legislation. Any such permission may be subject to conditions and further payment. The Report will be made solely for the use and benefit of The Client. Only The Client may rely on the Report.

NOT A PEST REPORT: This inspection and report will not Inspect, seek or attempt to identify timber pest activity or damage. We strongly recommend you obtain a timber pest inspection conducted by a licensed and suitably qualified pest inspector.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector to discuss and have this report and its content explained to you.

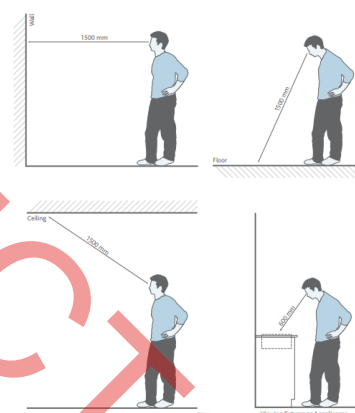
The Inspection and Report was carried out by:

State License Number: DB-U xxxxx

Contact the Inspector on:

For and on Behalf of: Inspect365

DIAGRAM F NORMAL VIEWING POSITIONS



Slight variations in the colour and finish of materials do not always constitute a defect.