

Practical Completion Inspection Report

Provided By



Inspect365

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Inspection Address

Narre Warren, VIC



Report Information

Client Information

Client Name Sample Inspection
Email info@inspect365.com.au

Inspection Information

Report/Agreement # 120124090800317
Inspection Date: 12 Jan 2024
Inspection Time: 09:08 am

Practical Completion Inspection

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.0-2007. Inspection of Buildings Part 0: General Requirerments.

Only the individual named at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Changes to the Inspection Agreement: Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the Builder.

Paint Defects

The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

Paintwork is defective if the application has blemishes such as

paint runs,

paint sags,

wrinkling,

dust,

bare or starved painted areas,

colour variations,

surface cracks,

irregular and coarse brush marks,

sanding marks,

blistering,

non-uniformity of gloss level

other irregularities in the surface

That are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing

and other finished edges.

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Any roof which cannot be accessed externally will be thoroughly checked from the inside for moisture ingress using our thermal imaging and moisture meter equipment.

Roof Void & Subfloor

Whilst we will endeavour to do our best to enter the roof void & subfloor. The minimum requirement under legislation is the roof void must have a manhole size 350x450mm (minimum) and the sub floor height is 400mm (minimum) to safely enter. The areas which cannot be accessed will be checked as thoroughly as possible using our thermal imaging equipment and moisture meters.

Re-Inspections

No re-inspections will be carried out of MINOR defects and we ask that your builder supply photographic evidence of repairs. These will be checked again at the next stage of the build. MAJOR defects will be re-inspected as agreed.

Please read the entire report. Refer to the terms & conditions as they form part of the report.

We were requested by the client/s to attend their property and carry out a re-inspection on the items listed in our previously supplied Audit Report and to thereafter prepare this updated report identifying any items that still breach the implied warranties within section 8 of the Domestic Building Contracts Act 1995 (DBCA)

None of the rectification methods, procedures or products within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the NCC/BCA. Therefore, depending on the type of further works required, the builder may need to obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be contractually necessary.

This report must be read by the builder in addition to any other list or correspondence provided by the owner/s.

Why Your Builder Has a Contractual Obligations To Rectify The Items Identified Within This Report

Your builder must satisfy you as the Owner and the party with whom they have entered into a legally binding Building Contract with, that all of the items that we have identified on your behalf and detailed within the following Schedule of Building Defects for you, have been fully rectified and/or otherwise justified as complying with the requirements of the National Construction Code/Building Code of Australia (NCC/BCA), the relevant Australian Standards, your plans, both engineering and architectural, your specification and to within the limits of the Victorian Building Authority's Guide to Standards & Tolerances, for them to meet their obligations under their Building Contract and the Domestic Building Contracts Act, for which they rely on for you as the Owner to pay them their contract price.

Via both your Building Contract and the Domestic Building Contracts Act your builder gives you a number of warranties (promises), which in part state-

- i. the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract; and
- ii. the builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.
- iii. the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise fully/further justify all of the identified items that breach any of your plans, your specification, the NCC/BCA and all of the Australian Standards adopted by being referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill. Further, in determining if rectification of any other defect is required, any item that is not covered by the above documents should also be addressed if its breach is covered by the Victorian Building Authority's Guide to Standards & Tolerances or any other Australian Standards guide.

Warranties and Defects

The builder should generally provide the following to the owner or owner's agent at the handover stage.

- Final Certification/Occupation Certificate from Certifier/Council.
- Gas/Plumbing compliance certificate/s
- Electrical/Smoke Alarms compliance certificate/s
- Practical Completion certificate which includes a Defects Document with reference to the Defects Liability and Warranty Period including expiry date.
- Home Warranty Insurance certificate
- Certification and relevant information regarding Termite Management System
- User Manuals for all appliances and installations
- Remote controls for garage
- Keys to the property

Defect Rectification

The Builder prior to Handover or settlement, or as agreed by the owner and builder should rectify any items/defects mentioned in the Handover Report.

If you are required to sign a Practical Completion Certificate, or an authority to release the final payment you should ensure that any defects/defects/items mentioned in the Report are noted 'to be rectified by the builder' on a Defects Document, which should be signed and dated by the builder and the owner, or owners agent. Note: If there are any items that the builder does not agree with, these should also be noted on the defects document. The Practical Completion document should mention the provision of a Statutory Defects Period. The Defects Liability Period generally commences from the date the Practical Completion Certificate is signed. You should confirm the period and expiry date with the builder.

There should be provision in your contract for a final inspection by the owner prior to settlement. A final inspection ensures any defects and/or incomplete work have been satisfactorily completed, and any minor defects and/or incomplete work that may still exist at handover/settlement are noted, prior to final payment. You should check the Building Contract in relation to any Practical Completion/Handover requirements.

Defect Liability Period

As a general rule the building is covered for Structural and other defects for a specific period, we recommend you refer to your building contract to confirm the warranty period and check with your builder regarding the provision of any warranties that may be applicable.

We recommend you contact us to conduct a comprehensive Warranty Defects Report for you to provide to the builder. This needs to be done before the expiration of the warranty period.

Paint defects

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 12.02

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paint runs,

paint sags,
 wrinkling,
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 non-uniformity of gloss level
 other irregularities in the surface

That are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing

and other finished edges.

Warranties under building law

Builders and tradespeople must honour the implied warranties in the Domestic Building Contracts Act, which require that they:

- Carry out the work in a proper and workmanlike manner, in accordance with the plans and specifications set out in the contract.
- ensure all materials supplied are good and suitable for the purpose and are new, unless otherwise stated in the contract.
- Carry out the work in accordance with all laws and legal requirements
- Carry out the work with reasonable care and skill and complete works by the date (or within the period) specified by the contract.
- Ensure new homes, extensions, renovations, repairs and kit homes (or similar) are suitable for occupation when completed.

- Ensure other types of work and the material used are reasonably fit for the intended purpose.

Additional Note

We strongly recommend you arrange insurance on the property from the date of handover, as the builder's insurance will not cover you for any loss or damage after that time.

Inspection Terms

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None of the rectification methods, procedures or products within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the NCC/BCA. Therefore, depending on the type of further works required, the builder may need to obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be contractually necessary.

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Your builder must satisfy you as the Owner and the party with whom they have entered into a legally binding Building Contract with, that all of the items that we have identified on your behalf and detailed within the following Schedule of Building Defects for you, have been fully rectified and/or otherwise justified as complying with the requirements of the National Construction Code/Building Code of Australia (NCC/BCA), the relevant Australian Standards, your plans, both engineering and architectural, your specification and to within the limits of the Victorian Building Authority's Guide to Standards & Tolerances, for them to meet their obligations under their Building Contract and the Domestic Building Contracts Act, for which they rely on for you as the Owner to pay them their contract price.

Via both your Building Contract and the Domestic Building Contracts Act your builder gives you a number of warranties (promises), which in part state-

- i. the builder warrants that the work will be carried out in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract; and
- ii. the builder warrants that the work will be carried out in accordance with, and will comply with, all laws and legal requirements including, without limiting the generality of this warranty, the Building Act and the regulations made under that Act.
- iii. the builder warrants that the work will be carried out with reasonable care and skill and will be completed by the date (or within the period) specified by the contract.

These warranties mean that your builder has a contractual obligation to rectify or otherwise fully/further justify all of the identified items that breach any of your plans, your specification, the NCC/BCA and all of the Australian Standards adopted by being referenced within it; and must do so in a proper workmanlike manner with reasonable care and skill. Further, in determining if rectification of any other defect is required, any item that is not covered by the above documents should also be addressed if its breach is covered by the Victorian Building Authority's Guide to Standards & Tolerances or any other Australian Standards guide.

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
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ROOF AND GUTTER	Down Pipes	Down Pipe Findings	<p>An inspection of the spreader found that it is NOT ADEQUATE.</p> <p>RECOMMENDATION:</p> <p>CONSULT WITH A PROFESSIONAL PLUMBER I SEAL</p> <p>NOTES: SA HB 39 : 2015 CLAUSE 5.7.7 SPREADERS Spreaders may be used to drain rainwater from a higher roof surface with a catchment area not exceeding 15 m2 provided the following conditions are satisfied (see Figure 5.7.7):</p> <ul style="list-style-type: none"> a. When discharging onto a tiled roof, the lower section is sarked a minimum width of 1800 mm, either side of the point of discharge extending down to the eaves gutter. b. When discharging onto a corrugated roof, a minimum width of 1800 mm on either side of the point of discharge is sealed for the full length of the side laps. c. The increased roof water volume from the upper roof is not to enter any seam of the roof coverings of the lower roof. d. No spreader is to discharge roof water onto or over ridge tiles, mortar jointed tiles, flashings, timber fascia or a roof sheet side lap. e. No spreader is to have its discharge entering any part of any building. f. Spreaders are to discharge all roof water onto roof coverings in the direction of flow, avoiding discharging onto laps on lower roof sheets and tiles. <p>When discharging an upper roof catchment onto a lower roof, the total roof area including the additional upper roof catchment area is to be considered for inclusion when sizing the lower roofing, gutters and downpipes.</p> <ul style="list-style-type: none"> g. Spreaders do not discharge on sheets or tiles discharging to valleys. <p>NOTE: The spreader catchment area indicated above is based on a standard corrugated roofing profile and may only exceed 15 m2 provided the additional upper roof discharge does not exceed the lower roof profile manufacturer's design-carrying capacity.</p>
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Summary Of Minor Defects

Below Is A Summary Of Defects Other Than Major Defects.

Section	Location	Name	Comment
SITE	Driveway	Driveway Condition	Clean required - paint marks
SITE	Driveway	Driveway Condition	The expansion joints are not sealed/caulked
SITE	Fences & Gates	Overall Condition	Replace damaged panels/palings
SITE	Surface Drainage	Drains	The storm water drains are incomplete - grates not secured down (safety hazard)
ROOF AND GUTTER	Roof Covering	Overall Condition	Caulking required to the referred area in picture/s.
ROOF AND GUTTER	Roof Covering	Flashing Conditions	Paint marks observed to visible flashings/capping.
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	Downpipes not painted.
HOT WATER SYSTEM	Hot Water Unit	Hot Water Unit Findings	The hot water system has yet to be installed.
EXTERIOR	Exterior Walls	Condition	<p>Caulking incomplete. RECOMMENDATIONS: SEAL/CAULK GAPS</p> <p>NOTES: NCC 2019 Clause 3.12.3.5 Construction of ceilings, walls and floors (a) Ceilings, walls, floors and any opening such as a window frame, door frame, roof light frame or the like must be constructed to minimise air leakage in accordance with (b) when forming part of the external fabric of— (i) a conditioned space; or (ii) a habitable room in climate zones 4, 5, 6, 7 and 8. (b) Construction required by (a) must be— (i) enclosed by internal lining systems that are close-fitting at ceiling, wall and floor junctions; or (ii) sealed at junctions and penetrations with— (A) close-fitting architrave, skirting or cornice; or (B) expanding foam, rubber compressive strip, caulking or the like.</p>
EXTERIOR	Exterior Walls	Condition	incosistant/poor finish to mortar.
EXTERIOR	Exterior Walls	Condition	Penetrations not sealed.
EXTERIOR	Exterior Walls	Condition	The external cladding was observed to have a bowing deviation from straightness.
EXTERIOR	Exterior Walls	External lighting	Some external lighting is poorly placed

EXTERIOR	Exterior Windows	Overall Condition	Caulking required to window frames.
EXTERIOR	Exterior Windows	Overall Condition	Damage to window frame/s.
EXTERIOR	Exterior Windows	Overall Condition	Paint / stains on window/s.
EXTERIOR	Exterior Windows	Overall Condition	<p>Repair weather seal to brick window sills where required.</p> <p>The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 8.02</p> <p>Window frame and door frame installations are defective if, due to the builder's workmanship, they leak or cause unhealthy or dangerous conditions, loss of amenity for occupants, undue dampness or deterioration of building elements.</p> <p>Windows and doors are defective if, when closed, they allow the entry of water.</p> <p>Water entry through doors is not defective if they are not intended to prevent water entry.</p> <p>For example, vehicle access doors.</p> <p>Windows and doors are defective if they are not sealed in accordance with the requirements of the Building Code of Australia, where required.</p> <p>Also mentioned in the NCC 2019 the following clauses:</p> <p>3.12.3.3 External windows and doors</p> <p>(a) An external door, internal door between a Class 1 building and an unconditioned Class 10a building, openable window and other such opening must be sealed when serving—</p> <p>(i) a conditioned space; or</p> <p>(ii) a habitable room in climate zones 4, 5, 6, 7 and 8.</p> <p>(b) A seal to restrict air infiltration—</p> <p>(i) for the bottom edge of a door, must be a draft protection device; and</p> <p>(ii) for the other edges of a door or the edges of an openable window or another such opening, maybe foam or rubber compressible strip, fibrous seal or the like.</p> <p>(c) A window complying with the maximum air infiltration rates specified in AS 2047 need not comply with (b)(ii).</p> <p>Recommendation Contact a qualified carpenter.</p>
GARAGE	Garaging	Door Findings	Top and bottom of garage external door not paint sealed.
GARAGE	Garaging	Door Findings	Difficult to close - Adjustment/service required.
GARAGE	Garaging	Internal Wall Findings	Paint Marks On Brick Piers
INTERIORS	Entry/Foyer	Door	Paint visible to front door glass

INTERIORS	Entry/Foyer	Door	The weather seals were observed to be poor/missing
INTERIORS	Entry/Foyer	Door	The door was observed to be binding with the frame/floor.
INTERIORS	Entry/Foyer	Door	Over paint on frame - clean required
INTERIORS	Entry/Foyer	Walls	Paint touch ups required. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.
INTERIORS	Living Room	Windows	Paint touch ups required.
INTERIORS	Internal Stair Case	Condition	Paint touch ups required. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.
INTERIORS	Internal Stair Case	Condition	Paint touch ups required to window
INTERIORS	Bedroom 1	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 1	Windows	Paint touch ups required.
INTERIORS	Bedroom 2	Windows	Paint touch ups required.
INTERIORS	Bedroom 2	Windows	The window mechanism is damaged/faulty
BATHROOM(S)	Powder Room	Overall Condition	Clean required.
BATHROOM(S)	Powder Room	Door	A door stop has not been installed.
BATHROOM(S)	Powder Room	Door	Paint touch ups required.
BATHROOM(S)	Powder Room	Door	Door has not been adequately sealed at the top and bottom. The VBA GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 8.06 Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.
BATHROOM(S)	Powder Room	Walls	Paint touch ups required.
BATHROOM(S)	Powder Room	Window	Window locked - unable to test
BATHROOM(S)	Bath Room 1	Window	Paint touch ups required.

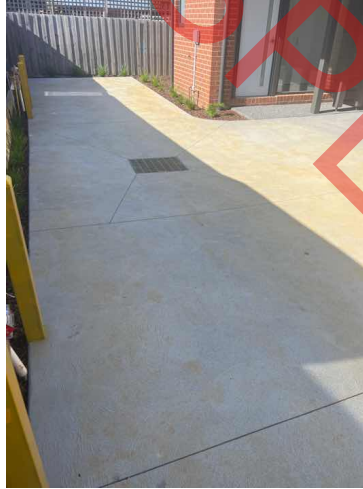
BATHROOM(S)	Bath Room 1	Sink	<p>An inspection of the pipe penetrations found that they were NOT ADEQUATE</p> <p>RECOMMENDATIONS: SEAL HOLES</p> <p>NOTE: The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 7.08 Plumbing holes are defective if they are not: a) properly grouted as appropriate b) fitted through neat minimal size penetrations (in the case of cabinetwork) c) fitted with tight-fitting cover plates or collars with penetrations kept to the smallest size practicable. AS 3740-2010 CLAUSE 3.10 PENETRATIONS 3.10.1 Penetrations for taps, shower nozzles, recessed soap holders and similar fixtures shall be waterproofed by sealing with proprietary flange systems or a sealant. When sealing the tap body to the wall, allowance shall be made for the servicing of tap washers or ceramic disks without damaging the seal. NOTE: Typical detail for recessed soap holders is shown in Figure 3.4. For mixer taps, drainage shall be allowed at the base of the cover plate. Any penetrations of mechanical fixings or fastenings through surface materials shall be waterproofed. 3.10.2 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS Tap penetrations on horizontal surfaces surrounding baths and spas shall be waterproofed by sealing with proprietary flange systems or the tap body to the membrane, or substrate where a membrane is not required.</p>
BATHROOM(S)	Bath Room 2	Door	A door stop has not been installed.
BATHROOM(S)	Bath Room 2	Door	Paint touch ups required.

BATHROOM(S)	Bath Room 2	Sink	<p>An inspection of the pipe penetrations found that they were NOT ADEQUATE</p> <p>RECOMMENDATIONS: SEAL HOLES</p> <p>NOTE: The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 7.08 Plumbing holes are defective if they are not: a) properly grouted as appropriate b) fitted through neat minimal size penetrations (in the case of cabinetwork) c) fitted with tight-fitting cover plates or collars with penetrations kept to the smallest size practicable. AS 3740-2010 CLAUSE 3.10 PENETRATIONS 3.10.1 Penetrations for taps, shower nozzles, recessed soap holders and similar fixtures shall be waterproofed by sealing with proprietary flange systems or a sealant. When sealing the tap body to the wall, allowance shall be made for the servicing of tap washers or ceramic disks without damaging the seal. NOTE: Typical detail for recessed soap holders is shown in Figure 3.4. For mixer taps, drainage shall be allowed at the base of the cover plate. Any penetrations of mechanical fixings or fastenings through surface materials shall be waterproofed. 3.10.2 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS Tap penetrations on horizontal surfaces surrounding baths and spas shall be waterproofed by sealing with proprietary flange systems or the tap body to the membrane, or substrate where a membrane is not required.</p>
BATHROOM(S)	Bath Room 2	Sink	The joinery is incomplete - door handles missing
KITCHEN	Kitchen	Sink & Joinery	Cabinet doors/drawers require adjusting for consistent gaps.
KITCHEN	Kitchen	Sink & Joinery	Pipe Penetration openings - As per the guide to standards & tolerances 2017 - Clause 7.3 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.
KITCHEN	Laundry	Door	Paint touch ups required.
PROPERTY AND INSPECTION INFORMATION	Utility Status	Gas	There was no gas connection at the time of the inspection.

SITE

Driveway**Materials**

The driveway is concrete.

**Driveway Condition****1 SITEWORKS (PAVING AND LANDSCAPING)**

1.01 Cracking in concrete paving Cracking in concrete is common and is not always attributable to unsatisfactory workmanship. Common causes of cracking include shrinkage stress, stress due to trees, commercial or heavy vehicle traffic, soil movement due to changes in the moisture content as a result of garden watering or drainage problems.

Cracking not attributable to the workmanship of the builder (e.g. trees planted too close to paving, commercial or heavy duty vehicle traffic, use of sprinkler system, etc.) is not a defect.

Cracking in concrete verandas, garages, carports, paving, patios, driveways, etc. where the builder did not make allowances for shrinkage or general movement of the concrete (e.g. slip joints where required around penetrations such as verandas posts, pipes etc.) shall be assessed in accordance with Table 1.01 and is defective where the limits in that table are exceeded.

TABLE 1.01 CRACKS IN CONCRETE PAVING

Condition	Measure	Limit
Cracking	Crack width	$\leq 1.5\text{mm}$
Subsidence	Heave or slump under 3m long straight edge.	$\leq 15\text{mm}$
Stepping	Relative surface level of adjacent paving elements within the expanse of the main pavement.	$\leq 5\text{mm}$

Taken from: AS 3727 – Guide to residential pavements, Table: 1 Performance criteria.

Clean required - paint marks

The expansion joints are not sealed/caulked

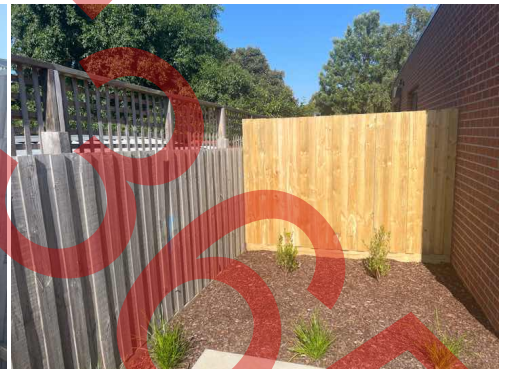


Fences & Gates

Overall Condition

The fences are acceptable.

Replace damaged panels/palings





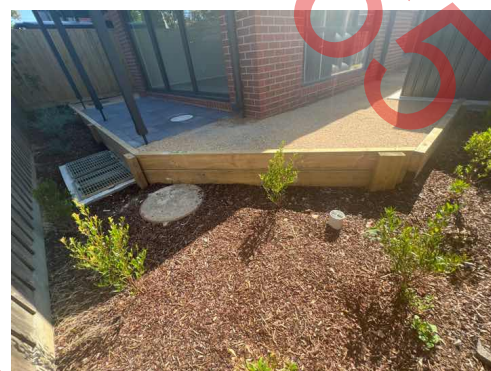
Retaining Walls

Material

The retaining wall material is wood / timber.

Overall Condition

The retaining walls are acceptable



Surface Drainage

Drains

The storm water drains are incomplete - grates not secured down (safety hazard)





Rainwater Tank

Rainwater Tank

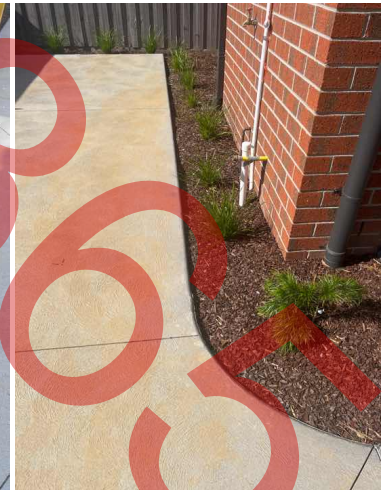
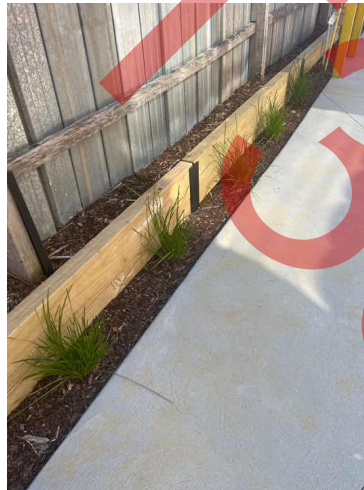
Acceptable.



Landscaping

Landscaping

Acceptable.



ROOF AND GUTTER

Roof Covering

Roof Covering Type

Metal roof cladding/sheeting.

Overall Condition

Caulking required to the referred area in picture/s.



Flashing Conditions

Paint marks observed to visible flashings/capping.



Down Pipes

Down Pipe Findings

Downpipes not painted.

An inspection of the spreader found that it is **NOT ADEQUATE**.

RECOMMENDATION:

CONSULT WITH A PROFESSIONAL PLUMBER I SEAL

NOTES:

SA HB 39 : 2015 CLAUSE 5.7.7 SPREADERS

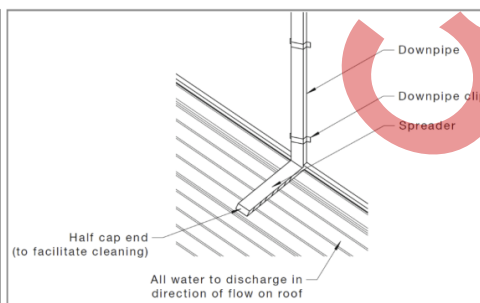
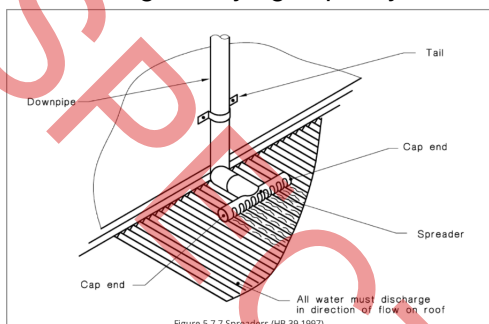
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- When discharging onto a corrugated roof, a minimum width of 1800 mm on either side of the point of discharge is sealed for the full length of the side laps.
- The increased roof water volume from the upper roof is not to enter any seam of the roof coverings of the lower roof.
- No spreader is to discharge roof water onto or over ridge tiles, mortar jointed tiles, flashings, timber fascia or a roof sheet side lap.
- No spreader is to have its discharge entering any part of any building.
- Spreaders are to discharge all roof water onto roof coverings in the direction of flow, avoiding discharging onto laps on lower roof sheets and tiles.

When discharging an upper roof catchment onto a lower roof, the total roof area including the additional upper roof catchment area is to be considered for inclusion when sizing the lower roofing, gutters and downpipes.

- Spreaders do not discharge on sheets or tiles discharging to valleys.

NOTE: The spreader catchment area indicated above is based on a standard corrugated roofing profile and may only exceed 15 m² provided the additional upper roof discharge does not exceed the lower roof profile manufacturer's design-carrying capacity.





HOT WATER SYSTEM

Hot Water Unit

Hot Water Unit Findings

The hot water system has yet to be installed.



EXTERIOR**Weep Holes and Ventilation****Findings**

Acceptable.

**Exterior Walls****Exterior Wall Material**

Brick

Light weight clad to 2nd storey.

**Condition**

Caulking incomplete.

RECOMMENDATIONS:
SEAL/CAULK GAPS

NOTES:

NCC 2019 Clause 3.12.3.5 Construction of ceilings, walls and floors

- (a) Ceilings, walls, floors and any opening such as a window frame, door frame, roof light frame or the like must be constructed to minimise air leakage in accordance with
- (b) when forming part of the external fabric of—
- (i) a conditioned space; or (ii) a habitable room in climate zones 4, 5, 6, 7 and 8.
- (b) Construction required by (a) must be—
- (i) enclosed by internal lining systems that are close-fitting at ceiling, wall and floor junctions; or
 - (ii) sealed at junctions and penetrations with—
 - (A) close-fitting architrave, skirting or cornice; or
 - (B) expanding foam, rubber compressive strip, caulking or the like.

inconsistent/poor finish to mortar.

Penetrations not sealed.

The external cladding was observed to have a bowing deviation from straightness.





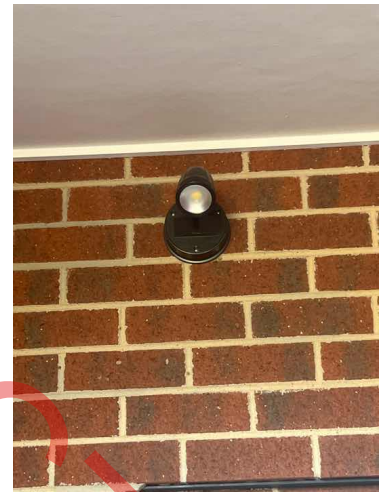
Bowing cladding

External lighting

Some external lighting is poorly placed



Block lighting



Exterior Windows

Overall Condition

Caulking required to window frames.

Damage to window frame/s.

Paint / stains on window/s.

Repair weather seal to brick window sills where required.

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 8.02

Window frame and door frame installations are defective if, due to the builder's workmanship, they leak or cause unhealthy or dangerous conditions, loss of amenity for occupants, undue dampness or deterioration of building elements. Windows and doors are defective if, when closed, they allow the entry of water. Water entry through doors is not defective if they are not intended to prevent water entry.

For example, vehicle access doors.

Windows and doors are defective if they are not sealed in accordance with the requirements of the Building Code of Australia, where required.

Also mentioned in the NCC 2019 the following clauses:

3.12.3.3 External windows and doors

(a) An external door, internal door between a Class 1 building and an unconditioned Class 10a building, openable window and other such opening must be sealed when serving—

- (i) a conditioned space; or
- (ii) a habitable room in climate zones 4, 5, 6, 7 and 8.

(b) A seal to restrict air infiltration—

- (i) for the bottom edge of a door, must be a draft protection device; and
- (ii) for the other edges of a door or the edges of an openable window or another such opening, maybe foam or rubber compressible strip, fibrous seal or the like.

(c) A window complying with the maximum air infiltration rates specified in AS 2047 need not comply with (b)(ii).

Recommendation

Contact a qualified carpenter.

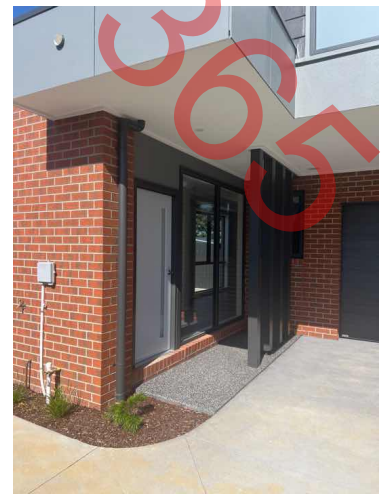




Porch Area

Overall Condition

Visible sections of the Alfresco area are serviceable or in reasonable or condition for the age of this dwelling.



GARAGE

Garaging

Door Findings

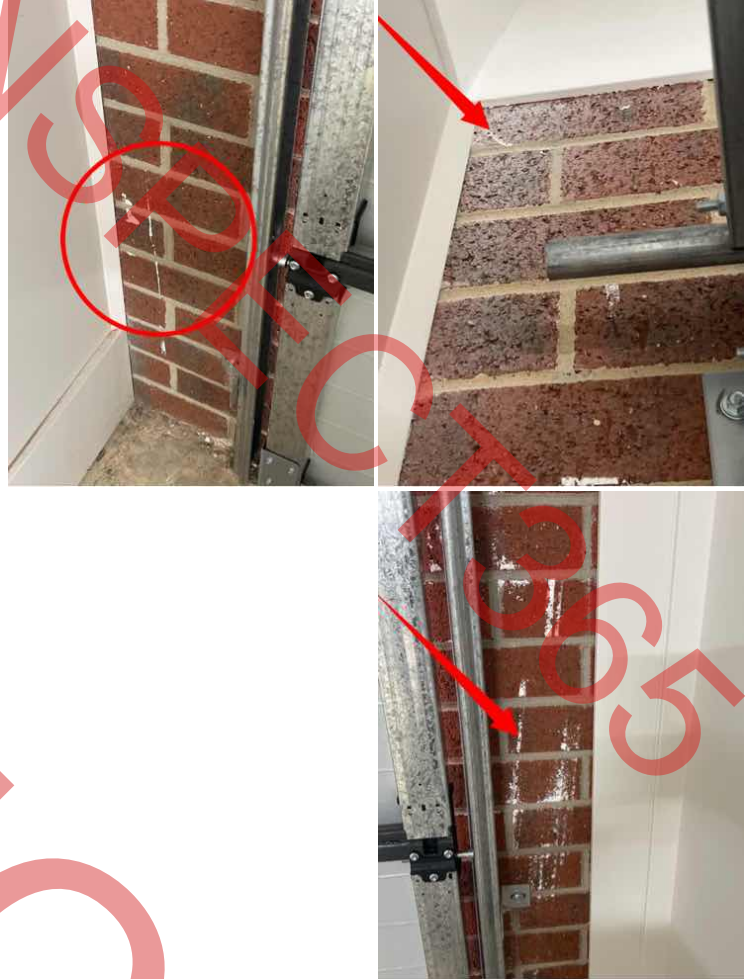
Top and bottom of garage external door not paint sealed.

Difficult to close - Adjustment/service required.



Internal Wall Findings

Paint Marks On Brick Piers



INTERIORS**Entry/Foyer****Door**

Paint visible to front door glass

The weather seals were observed to be poor/missing

The door was observed to be binding with the frame/ floor.

Over paint on frame - clean required





Walls

Paint touch ups required.

The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.



Smoke Alarm

Was a Smoke Alarm Fitted

Yes smoke alarm was sighted but not tested.

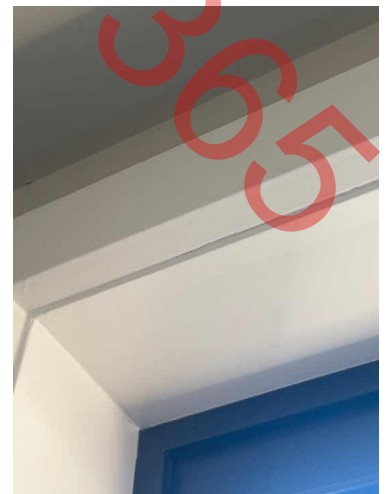
Legislation requires smoke Alarms to be installed. Check with your local council regarding type, locations and other related requirements.



Living Room

Windows

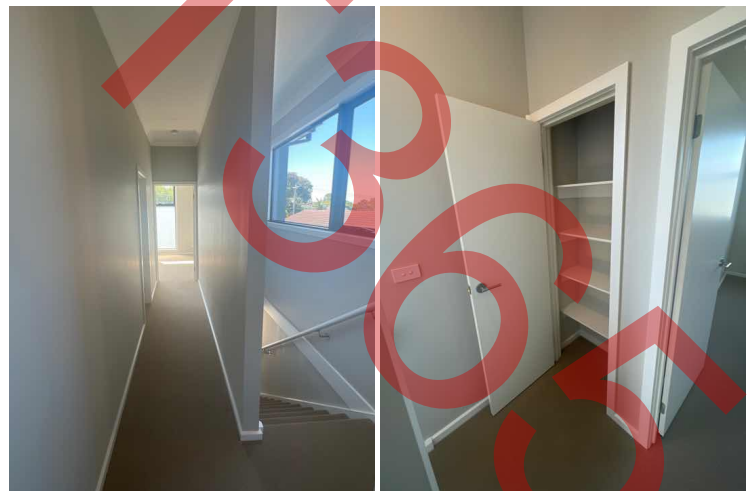
Paint touch ups required.

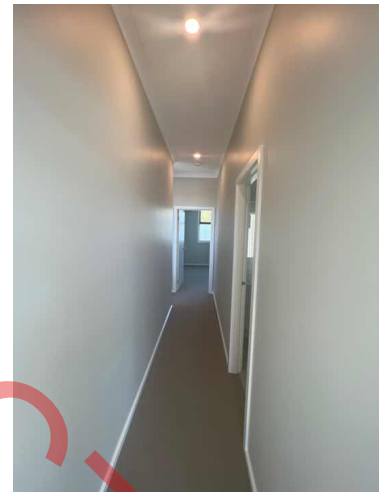


Hallway/s

Overall Condition

The standard of this room is acceptable





Internal Stair Case

Condition

The interior stairs are acceptable.

Paint touch ups required. The Guide to Acceptable Standards & Tolerances 2015 states: Paint finishes are defective if the inconsistency can be seen from a distance of 1.5m in natural light.

Paint touch ups required to window

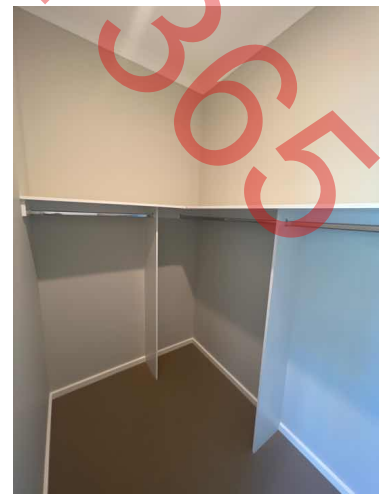




Bedroom 1

Overall Condition

The standard of this room is acceptable



Door

Paint touch ups required as indicated by markers



Windows

Paint touch ups required.



Bedroom 2

Overall Condition

The standard of this room is acceptable



Windows

Paint touch ups required.

The window mechanism is damaged/faulty



BATHROOM(S)

Powder Room

Location

Downstairs.

Overall Condition

Clean required.



Door

A door stop has not been installed.

Paint touch ups required.

Door has not been adequately sealed at the top and bottom.

The VBA I GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 8.06

Door leaves are defective if they do not have all sides, top and bottom edges sealed/painted in accordance with the manufacturer's specifications.



Door stop not adequate



Bottom of door not sealed



Top of door not sealed

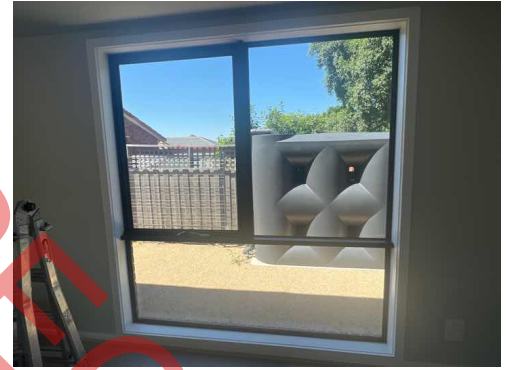
Walls

Paint touch ups required.



Window

Window locked - unable to test



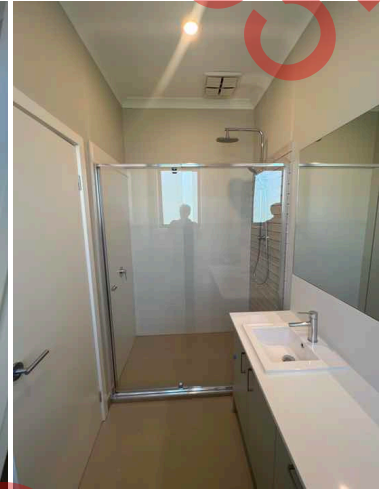
Bath Room 1

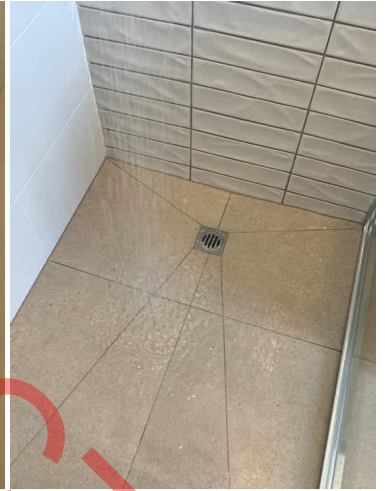
Location

Master bedroom.

Overall Condition

This bathroom is acceptable.



**Window**

Paint touch ups required.

**Sink**

An inspection of the pipe penetrations found that they were **NOT ADEQUATE**

RECOMMENDATIONS:

SEAL HOLES

NOTE:

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 7.08

Plumbing holes are defective if they are not:

- a) properly grouted as appropriate
- b) fitted through neat minimal size penetrations (in the case of cabinetwork)
- c) fitted with tight-fitting cover plates or collars with penetrations kept to the smallest size practicable.

AS 3740-2010 CLAUSE 3.10

PENETRATIONS 3.10.1

Penetrations for taps, shower nozzles, recessed soap holders and similar fixtures shall be waterproofed by sealing with proprietary flange systems or a sealant. When sealing the tap body to the wall, allowance shall be made for the servicing of tap washers or ceramic disks without damaging the seal.

NOTE: Typical detail for recessed soap holders is shown in Figure 3.4. For mixer taps, drainage shall be allowed at the base of the cover plate.

Any penetrations of mechanical fixings or fastenings through surface materials shall be waterproofed.

3.10.2 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS

Tap penetrations on horizontal surfaces surrounding baths and spas shall be waterproofed by sealing with proprietary flange systems or the tap body to the membrane, or substrate where a membrane is not required.



Bath Room 2

Location

Bedroom.

Hallway.

Upstairs.

Door

A door stop has not been installed.

Paint touch ups required.



Sink

An inspection of the pipe penetrations found that they were **NOT ADEQUATE**

RECOMMENDATIONS:

SEAL HOLES

NOTE:

The VBA | GUIDE TO STANDARDS AND TOLERANCES 2015 Clause 7.08

Plumbing holes are defective if they are not:

- a) properly grouted as appropriate
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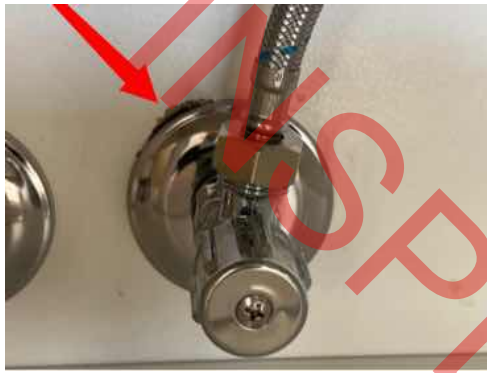
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3.10.2 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS

Tap penetrations on horizontal surfaces surrounding baths and spas shall be waterproofed by sealing with proprietary

flange systems or the tap body to the membrane, or substrate where a membrane is not required.

The joinery is incomplete - door handles missing



Cabinet door handles missing

KITCHEN

Kitchen

Sink & Joinery

Appliances not installed.

Cabinet doors/drawers require adjusting for consistent gaps.

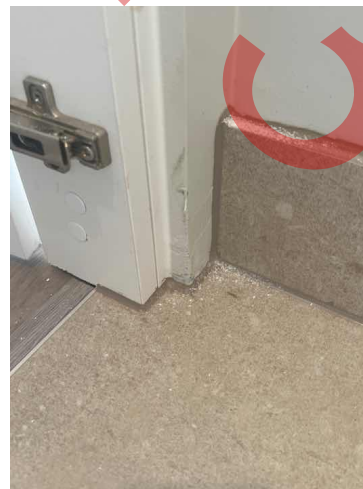
Pipe Penetration openings - As per the guide to standards & tolerances 2017 - Clause 7.3 - Pipe penetrations through external walls and inside cupboards - Plumbing holes are defective if they are not properly grouted; or in the case of cabinet work, fitted through neat minimum size penetrations, or fitted with tight fitting cover plates or collars with penetrations kept to the smallest size practicable.



Laundry

Door

Paint touch ups required.



ROOF VOID

Roof Void Findings

Restricted Areas

There is insulation present in the roof space/void. This is preventing a full inspection of ceiling joists from being undertaken.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place.

Roof Frame Type

The roof frame is a truss timber frame.



Overall Condition

Visible sections of the roof void is in a serviceable condition for age of this dwelling.





Insulation

Type

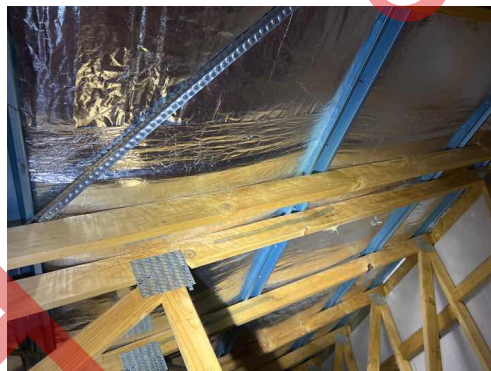
The roof space is insulated with fibreglass batts.

Condition

The installation is acceptable

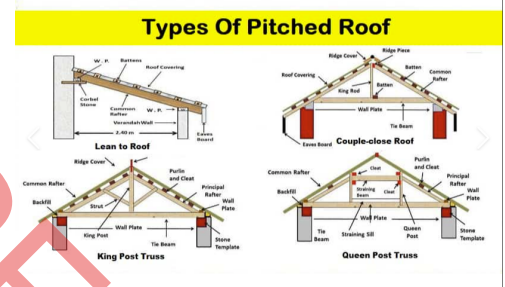
Sarking

The sarking generally is in a serviceable condition.



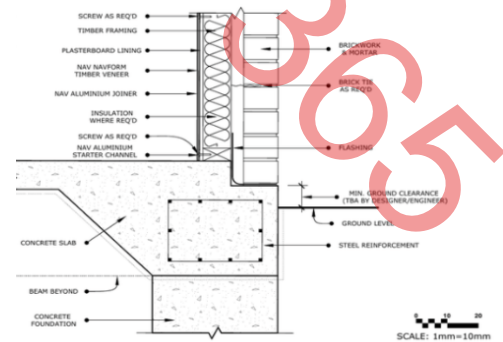
Roof Design

The roof is a Pitched roof design.



Footings Type

Slab On Ground Footing Construction.



Storeys

Two storey home

People Present

No persons Present at Inspection.

Areas Where Full Inspection Restricted

Areas Inspected

The exterior immediate to the unit.

Building Interior

Garage

Roof Void

Area Where Inspection Was Restricted

Roof Void

Roof Exterior

Note: In the absence of rainfall there is no guarantee that the roof won't leak.

All roofs are inspected from ladders on accessible sides as walking on the roof is not permitted without fall protection when the height is greater than 2m under Occupational Health & Safety Regulations in Victoria.

If personnel need to walk or work within 2 metres of a roof edge or other fall hazard, your premises will require a fall prevention system such as a fall arrest system, roof guardrail or a static line system.

Utility Status

Water

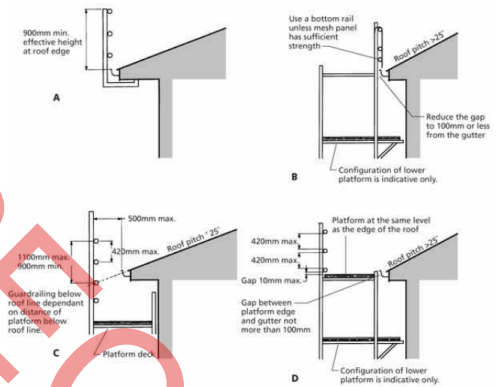
The water was Connected.

Electricity

Electricity to the dwelling was connected

Gas

There was no gas connection at the time of the inspection.



TERMS AND CONDITIONS

General Definitions used in this Report:

Definitions specific to Building Inspections and Reports for new buildings. You should read and understand the following definitions of words used in the Inspection Agreement and the Report.

Acceptable: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

Rectification work required: A defect or a number of defects were visible that will require assessment and or repair by a qualified trades person.

Monitor: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

Strata: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

Significant Item: An item that must be reported in accordance with the scope of the inspection.

Major Defect: A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any defect other than what is described as a Significant Item or major defect.

Safety Hazard: A defect that presents unsafe conditions and must be reported as a Major defect.

Accessible Area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Building Element: A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person(s) or other legal entity for which the inspection is to be carried out. If ordered by an agent then it is agreed that the agent has the authority to act for and on behalf of the person.

You/Your/The Purchaser/Client: The party identified on the face page of this report as the Client, and where more than one party all such parties jointly and severally, together with any agent of that party.

Defect: A fault or deviation from the intended condition of the material, assembly or component.

Handover: The moment the builder hands over the keys and the owner officially takes possession of the property.

Firm: The business company, partnership, trust or individual named on the report, its agents, or employees that you have requested to carry out the property inspection and Report.

Inspector: The person or organization responsible for carrying out the inspection. (See also "Our/Us/We" below.)

Limitation: Any factor that prevents full completion of the purpose of the inspection.

Manhole (cover) or Access hole: An opening in the structure to allow for safe entry to carry out an inspection.

Practical Completion: The stage of construction when contract works are considered completed and the building is considered reasonably fit for habitation. There may be some minor defects and incomplete work outstanding.

Property: The structure to be inspected and the site upon which it stands to within 30 metres of the dwelling.

Report: A document and any attachments containing advice about the condition of the Property and issued to you by us following our inspection of the Property.

Visual Inspection: The inspection shall comprise visual assessment of accessible areas of the Property to identify major visible defects to the building structure and to form an opinion regarding the general condition of the structure of the property. Note: If cracking to masonry building elements is noted in the Report a Structural Engineer must be consulted.

Safe and Reasonable Access - is interpreted to mean areas that are safe and unobstructed. Does not include the use of destructive or invasive inspection methods or moving of building materials, stored goods, furniture, vehicles etc.

AS 4349.1-2007 defines the extent of safe and reasonable access as follows:

"The extent of accessible areas shall be determined by the Inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The Inspector shall also determine whether sufficient space is available to allow safe access.

The inspection shall include only accessible areas and areas that are within the Inspectors line of sight and close enough to enable reasonable appraisal."

Areas for Inspection shall cover all safe and accessible areas the Property.

Access Table 3.2 from AS 4349.1-2007

Table Notes:

1. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
2. Sub floor or slab areas sprayed with chemicals will not be inspected unless it is considered safe to do so. Our/Us/We/The

General and Important Information:

Important Information Regarding the Scope and Limitations of the Inspection and this Report. Any person who relies upon the contents of this report does so acknowledging that the clauses, which define the Scope and Limitations of the inspection, and forms an integral part of inspection agreement and the inspection and the Report.

General Requirements:- Inspection of residential buildings under construction or completed residential building inspections i.e. Practical Completion Inspection (PCI); Building Stage Report; Handover Inspection Report; Warranty Report; Building Defects Report. Standards & Tolerances applies; Standard AS4349.0-2007 Inspection of buildings Part 0: General requirements applies.

Scope and Limitations: - Residential Buildings Under Construction and Completed Building Inspections:

The inspection is based on a visual assessment of the property to identify any major defects, the incidence of minor defects, and safety hazards associated with the property, and to form an opinion regarding the general condition of the property at the time of inspection, for the relevant inspection as ordered by The Client and agreed in the Inspection Agreement. The inspection and reporting will include any accessible parts of the property, according to the type of inspection being inspected.

The inspection will be carried out in accordance with AS4349.0-2007. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. The report is a reasonable attempt to assess the quality of the work and to identify any obvious or significant defects apparent at the time of the inspection. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. If Cracking of Building Elements is noted in the Report or you require any advice of a structural nature you will consult the builder, and a Structural Engineer as necessary. Refer to Appendix E of AS4349.1-2007. (CRACKING OF BUILDING ELEMENTS)

The Client is responsible for the signing of any documents relating to the construction or handover of the property. The Client shall obtain any relevant notices and certificates relating to the subject building from the builder or certifier for the completion of the property, as required by relevant building legislation.

Limitations: The Inspection is a non-invasive visual inspection, which is limited to those accessible areas and sections of the property to which Safe, and Reasonable Access is both available and permitted on the date and time of the inspection. Areas where reasonable entry is denied to the inspector, or where safe and reasonable access is not available, are excluded from and do not form part of the inspection. These may include; any sections/areas of the building that were obstructed at time of inspection by; contractors, goods, materials, vehicles etc. in, on or against section/areas of the building belonging to the builder, contractors, owner, and/or other parties. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed.

Purpose: The purpose of the inspection is to provide advice to the Client or owner of a residential dwelling that is under construction, or a recently completed residential dwelling, regarding the condition of the property at the time of inspection. The visual inspection will identify significant building defects, minor defects, incomplete work, omissions, safety hazards and/or maintenance issues, so that the Client may provide a written report of a defect list to the builder or relevant person/s, so as to enable them therewith to negotiate the rectification of any such defects etc. The inspection shall include specific requirements or conditions requested by the client, and agreed upon, in the Inspection Agreement. The Report is for the Clients purpose only.

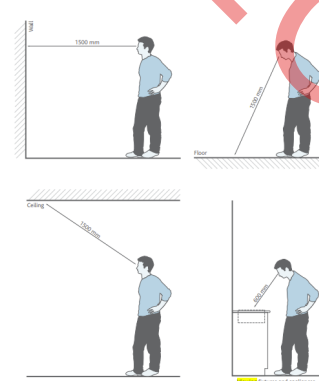
Exclusions: The Report will not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. The Report will not include the inspection and assessment of items or matters that do not fall within the Building Consultant or Inspectors direct expertise. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. The Client acknowledges that this Report excludes and specifically does not cover or deal with inspection of specific items, mentioned in the Inspection Agreement. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. If Cracking of Building Elements is noted in the Report the Client will consult a Structural Engineer. Refer to Appendix E of AS4349.1-2007. Estimating the cost of rectification of defects is not included in a standard property report.

Exclusive Use: The Report may not be provided to any other Person without Our express written permission, unless The Client is authorized to do so by relevant Legislation. Any such permission may be subject to conditions and further payment. The Report will be made solely for the use and benefit of The Client. Only The Client may rely on the Report.

NOT A PEST REPORT: This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. We strongly recommend you obtain a timber pest inspection conducted by a licensed and suitably qualified pest inspector.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector to discuss and have this report and its content explained to you.

DIAGRAM F NORMAL VIEWING POSITIONS



Slight variations in the colour and finish of materials do not always constitute a defect.

1 Non-critical light is defined in appendix B3 and D7 Australian Standard AS/NZS 2589. Refer also to CSIRO TIR 8071, Report No. LR - 1992.

DIAGRAM E MEASUREMENT OF HORIZONTAL TOLERANCES

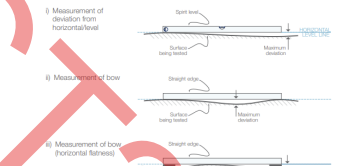
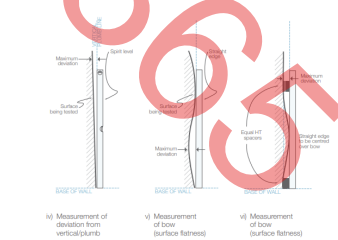


DIAGRAM E MEASUREMENT OF VERTICAL AND INCLINED SURFACES



The Inspection and Report was carried out by:

State License Number: DB-U xxxxx

Contact the Inspector on:

For and on Behalf of: Inspect365